



NOTICE OF THE REGULAR MEETING
of the
March Joint Powers Commission
of the
March Joint Powers Authority
and the
March Inland Port Airport Authority
and the
Successor Agency - March Joint Powers Authority
of the
Former March Joint Powers Redevelopment Agency
City of Moreno Valley • City of Riverside • City of Perris • Riverside County
and the
March Joint Powers Commission
of the
March Joint Powers Utilities Authority
City of Moreno Valley • City of Riverside • City of Perris
to the
Public and Members of the March Joint Powers Commission

Notice is hereby given that the Regular Meeting of the **March Joint Powers Commission of the March Joint Powers Authority** will be held at **Western Municipal Water District - Board Room, 14205 Meridian Parkway, Riverside, California 92518** on **Wednesday, September 11, 2024 at 3:00 p.m.**

This Notice was posted on 09/05/2024 at the following locations:

Western Municipal Water District
14205 Meridian Parkway
Riverside, CA 92518

On September 5, 2024, Notice was sent to each member of the March Joint Powers Commission.

I hereby certify that the foregoing Notice is a full, true, and correct copy of the Notice posted for the March Joint Powers Authority Commission Meeting.

Cindy Camargo

Cindy Camargo, Clerk
March Joint Powers Authority Commission

REGULAR MEETING
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Wednesday, September 11, 2024 - 3:00 PM

**March Joint Powers Authority
Commission Meeting Location:**
Western Municipal Water District - Board Room
14205 Meridian Parkway
Riverside, CA 92518

ALL MEETINGS ARE OPEN TO THE PUBLIC.

Interested persons are encouraged to participate in the activities of the JPA. Anyone wishing to speak on an agenda item or on an issue of general concern should complete a “Speaker’s Request Form” available in the Meeting Room.

ADA: If you require special accommodations during your attendance at a meeting, please contact the JPA at (951) 656-7000 at least 24 hours in advance of the meeting time.

**March Joint Powers Authority
14205 Meridian Parkway, Suite 140 Riverside, CA 92518
Phone: (951) 656-7000 Fax: (951) 653-5558**

THE MARCH JOINT POWERS COMMISSION
of the
MARCH JOINT POWERS AUTHORITY
and the
MARCH INLAND PORT AIRPORT AUTHORITY
and the
SUCCESSOR AGENCY - MARCH JOINT POWERS AUTHORITY
of the
FORMER MARCH JOINT POWERS REDEVELOPMENT AGENCY
City of Moreno Valley • City of Riverside • City of Perris • County of Riverside
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MARCH JOINT POWERS COMMISSION
of the
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City of Moreno Valley • City of Riverside • City of Perris

Wednesday, September 11, 2024 - 3:00 PM

Western Municipal Water District/March Joint Powers Authority
Board Room
14205 Meridian Parkway
Riverside, CA 92518

REGULAR MEETING AGENDA

- 1. Call to Order**
- 2. Roll Call**
- 3. Invocation**
- 4. Pledge of Allegiance**
- 5. Matters Subsequent to Posting Agenda**
Approval of Agenda Additions or Corrections, as Necessary.
- 6. Public Comments**
Any person may address the Commission on any subject pertaining to March Joint Powers Authority, March Inland Port Airport Authority, Successor Agency/former March Joint Powers Redevelopment Agency, and March Joint Powers Utilities Authority business not listed on the Agenda during this portion of the Meeting. A limitation of three (3) minutes shall be set for each person desiring to address the Commission.
- 7. Approval of Minutes for Regular Meeting held on August 14, 2024 – Page 7**
- 8. Consent Calendar**
MJPA – Operations

- 1) Report: Update on JPC Actions, Legislation, Property Transfers and Staff Activities – Page 16
- 2) Report: Update on Planning Activities – Page 21
- 3) Report: Receive and file Financial Status Reports – Page 26
- 4) Action: Approve June and July 2024 Disbursements – Page 110

9. Reports, Discussions and Action Items

MJPA - Operations

- 1) Report: Receive and file an update for the 452nd Air Mobility Wing, Air Force Reserve Command, by Deputy Commander Colonel Biren “OB” Oberoi – Page 121
Dr. Grace Martin, Chief Executive Officer
- 2) Report: Receive and file an update for the Air and Marine Operations Center (AMOC) by Neil ‘Clark’ Lanzendorf, Director – Page 125
Dr. Grace Martin, Chief Executive Officer
- 3) Report: Receive and file the monthly Technical Advisory Committee (TAC) report for September 9th, 2024 – Page 127
Tisa Rodriguez, TAC Chair
- 4) Report: Receive and file a report on the latest Riverside County Sheriff’s Department Truck Enforcement – Page 128
Lauren Sotelo, Principal Planner
- 5) Report: Receive and file the Foreign Trade Zone 244 Annual Report for 2023 – Page 132
Dr. Grace Martin, Chief Executive Officer
- 6) Report/Action: Discuss Resolution JPA 24-20, rescinding Resolution JPA 19-27 and establishing a policy of publishing the Regular Meeting Agenda at least twelve (12) days before each regular meeting, and take action as deemed appropriate by the Commission - Page 304
Dr. Grace Martin, Chief Executive Officer
- 7) Report/Action: Adopt Resolution JPA 24-25, setting the date, time and location of regular meetings of the March Joint Powers Commission, and approve an agreement with Riverside County that will implement the resolution – Page 309
Dr. Grace Martin, Chief Executive Officer

10. Public Hearing - MJPA

- 1) Action: Consider the following actions as they pertain to Greens Inv 11, LLC request involving a 3,596 square foot, automated car wash facility, located within the Veterans Plaza Commercial Center, located at the southeast corner of Opportunity Way and Sysco Way, north of Van Buren Boulevard, Riverside, California: 1) Adopt Resolution JPA 24-24, finding that no further environmental review is required pursuant to State CEQA Guidelines Section 15162 and approving a Conditional Use Permit CUP 22-03, subject to Conditions of Approval for the development of the Veterans Plaza Car Wash Project; and 2) direct Staff to file a Notice of Determination pursuant to the March JPA local CEQA guidelines – Page 316

11. Consent Calendar

MIPAA – Operations

- 1) Report: Update on JPC Actions, Legislation, Property Transfers, Planning Activities and Staff Activities – Page 413
- 2) Report: Receive and file Financial Status Reports – Page 418

3) Action: Approve June and July 2024 Disbursements – Page 436

12. Reports, Discussions and Action Items

MIPAA – Operations

- 1) Report/Action: Approve C&S Companies Scope of Work for the AP-5 Crack Seal Rehabilitation Project and authorize MIPAA to contribute \$23,810 towards the design, bidding and awarding of the project – Page 439
Lauren Sotelo, Principal Planner
- 2) Report/Action: Approve the March Inland Port Airport Master Plan and associated Airport Layout Plan, and direct staff to proceed with submittals to the Federal Aviation Administration (FAA) – Page 451
Dr. Grace Martin, Chief Executive Officer

13. Consent Calendar

MJPUA – Operations

- 1) Report: Receive and file Financial Status Reports – Page 472
- 2) Action: Approve June and July 2024 Disbursements – Page 479

14. Commission Members Oral Reports/Announcements

15. Staff Oral Reports/Announcements

16. Calendaring of Future Agenda Items

Future agenda items may be scheduled by JPC Members or staff.

17. Closed Session

CONFERENCE WITH REAL PROPERTY NEGOTIATORS PURSUANT TO GOVERNMENT CODE SECTION 54956.8

Property: March LifeCare Campus (also known as Northeast Corner)
Agency Negotiator: Dr. Grace Martin, Chief Executive Officer
Negotiating Parties: March 1 LLC
Under Negotiation: Price and Terms of Disposition and Development Agreement

CONFERENCE WITH REAL PROPERTY NEGOTIATORS PURSUANT TO GOVERNMENT CODE SECTION 54956.8

Property: March Inland Port Airport, plus runway and associated flying facilities at March Air Reserve Base
Agency Negotiator: Dr. Grace Martin, Chief Executive Officer
Negotiating Parties: U.S. Air Force, March Air Reserve Base
Under Negotiation: Price and Terms of Joint Use Agreement

18. Adjournment

In accordance with Government Code section 65009, anyone wishing to challenge any action taken by the Commission of any of the entities listed in this agenda above in court may be limited to raising only those issues raised at the public hearings described in the notice or raised in written correspondence delivered to the hearing body, at or prior to the public hearing. Any written correspondence submitted to one or more of the March JPA Commissioners regarding a matter on this Agenda shall be carbon copied to the Commission Clerk and the project planner, if applicable, at or prior to the meeting date first referenced above.

Copies of the staff reports or other written documentation relating to each item of business described above are on file in the office of Clerk of the March Joint Powers Authority (JPA), 14205 Meridian Parkway Suite 140, Riverside, California and are available for public inspection during regular office hours (7:30 a.m. to 5:00 p.m., Monday through Thursday, Friday Closed). Written materials distributed to the March Joint Powers Commission within 72 hours of the March Joint Powers Commission meeting are available for public inspection immediately upon distribution in the Clerk's office at the JPA offices at 14205 Meridian Parkway, Suite 140, Riverside, California (Government Code Section 54957.5(b)(2)). Copies of staff reports and written materials may be purchased for \$0.20 per page. In addition, staff reports can be reviewed online at www.marchjpa.com. Pursuant to State law, this agenda was posted at least 72 hours prior to the meeting.

ADA: If you require special accommodations during your attendance at a meeting, please contact the JPA at (951) 656-7000 at least 24 hours in advance of the meeting time.

I hereby certify under penalty of perjury, under the laws of the State of California, the foregoing agenda was posted in accordance with the applicable legal requirements.

Dated: September 5, 2024

Signed: Cindy Camargo

Cindy Camargo, Clerk of the March Joint Powers Authority Commission

March Joint Powers Authority
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Wednesday, August 14, 2024 - 3:00 PM

Western Municipal Water District/March Joint Powers Authority
Board Room
14205 Meridian Parkway
Riverside, CA 92518

REGULAR MEETING MINUTES

1. Call to Order

Chair Delgado called the meeting to order at 3:00 p.m.

2. Roll Call

Present: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado

Absent: Gutierrez, Perry

3. Invocation

Pastor Diane Gardner provided the invocation.

4. Pledge of Allegiance

Vice Chair Vargas led the group in the pledge.

5. Matters Subsequent to Posting Agenda

Approval of Agenda Additions or Corrections, as Necessary.

Dr. Martin stated that item 8 (10), page 138 is missing from the Workers Comp policy attachment to the resolution and on item 9 (3), page 192 of JPA #24-23 has been updated. Items were posted on the JPA website.

6. Public Comments

Any person may address the Commission on any subject pertaining to March Joint Powers Authority, March Inland Port Airport Authority, Successor Agency/former March Joint Powers

Redevelopment Agency, and March Joint Powers Utilities Authority business not listed on the Agenda during this portion of the Meeting. A limitation of three (3) minutes shall be set for each person desiring to address the Commission.

Madam Clerk stated that there were no public comments on this item, but sixty-four public comments were received via email.

7. Approval of Minutes for Regular Meeting held on June 12, 2024.

No questions or comments.

Motion to approve the JPC Regular Meeting Minutes for meeting held on June 12, 2024.

Motion: Vargas
Second: Rogers
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

8. Consent Calendar

MJPA – Operations

- 1) Report: Update on JPC Actions, Legislation, Property Transfers and Staff Activities.
- 2) Report: Update on Planning Activities.
- 3) Report: Receive and file Financial Status Reports.
- 4) Action: Approve April and May 2024 Disbursements.
- 5) Action: Adopt Resolution JPA 24-18 a resolution of the Commission of the March Joint Powers Authority, acting as the legislative body of the March Joint Powers Authority Community Facilities District No. 2013-01 (March LifeCare Campus), establishing Fiscal Year 2024/2025 annual special tax to be levied on property within such Community Facilities District and authorizing the collection of said special tax.
- 6) Action: Approve a Revocable License for Use of Real Property Granted to the March Joint Powers Authority by the U.S. Department of Veterans Affairs for the Continued Operation and Maintenance of General Old Golf Course and Authorize the Chief Executive Officer to execute the Agreement.
- 7) Action: Adopt Resolution JPA 24-21 adopting an amended 2024 Conflict of Interest Code/Appendix for the March Joint Powers Authority.
- 8) Action: Approve the First Amendment to the Temporary Easement Agreement between the March Joint Powers Authority and the Metropolitan Water District and authorize the Chief Executive Officer to execute the Amendment.
- 9) Action: Approve the Third Amendment to the Lease Agreement for Building 2600 between the March Joint Powers Authority and CrossWord Christian Fellowship Church and authorize the Chief Executive Officer to execute the Amendment.
- 10) Action: Adopt Resolution JPA 24-19 adopting a Workers' Compensation Policy.
- 11) Action: Approve a one-time payment for the Fiscal Year 2024-25 Public Entity Risk Management Authority (PERMA) – annual premiums.
- 12) Action: Approve a one-time payment of CalPERS Fiscal Year 2024/25 annual unfunded accrued liability (UAL).
- 13) Action: Approve BrightView Landscape Professional Services Agreement, Amendment No. 2, and authorize the Chief Executive Officer to execute the Amendment – Page 175

- 14) Action: Authorize Advertisement of Requests for Proposals for Landscaping and Lighting Maintenance District No. 1 (LLMD#1) for tree trimming, tree replacement, and LLMD planting and irrigation upgrades and services and approve a not-to-exceed amount of \$300,000 of LLMD funds for the project.
- 15) Action: Approve a Usage Driven Site within Foreign Trade Zone 244 for UPS Supply Chain Solutions, located in Eastvale, CA.
- 16) Action: Authorize the March Joint Powers Commission Past Chair and Chief Executive Officer to travel and attend the 2024 Airlift Tanker Association Conference in Texas.

No questions or comments.

Motion to approve Consent Calendar, MJPA – Operations, Items 8 (1-16).

Motion: Conder
 Second: Cabrera
 Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
 Noes: None
 Absent: Gutierrez, Perry
 Abstain: None

9. Reports, Discussions and Action Items

MJPA - Operations

- 1) Report: Receive and file an update for March Field Air Museum by Executive Director Jarod Hoogland.

Dr. Grace Martin, Chief Executive Officer introduced Mr. Hoogland who provided an update on this item.

Chair Delgado stated that it should be noted that the museum hosts students of the month, every month, for the Moreno Valley and Valle Verde school districts as well as a wide array of other events, political and non-political.

Member Rogers thanked Mr. Hoogland for a great presentation.

- 2) Report: Receive and file the monthly Technical Advisory Committee (TAC) report for August 5th, 2024.

Dr. Martin provided an update on this item.

No questions or comments.

- 3) Action: Adopt Resolution JPA 24-23 of the March Joint Powers Authority, approving three job classifications, revised salary scale and amended organizational chart.

Dr. Grace Martin, Chief Executive Officer, provided an update on this item.

Member Conder stated that this was presented to the Finance Committee and questions were asked about the upcoming sunseting and how the positions add to the savings.

Member Jeffries stated that the org chart changes on slides 1 and 2 from the March Joint Powers Authority to March Joint Powers Authority and the Airport Authority. He stated that a dual system where the CEO of the JPA now becomes the CEO of the Airport Authority as well is a very significant change in the structure. Member Jeffries added that he was not prepared to vote on that. Chair Delgado asked Dr. Martin to explain the

purpose of the way the organizational chart was structured. Dr. Martin stated that it is a labeling thing. She added that the March JPA structure has always incorporated the March Inland Port Airport. She added that the organizational chart does include the Airport Operations Coordinator but also JPA staff that provide support to the airport. She added that there is a co-mingling that has always been there. Dr. Martin added that as they hand off to the County, what is shown on the chart now is not necessarily what will be seen in the Airport structure because the land use authority will be gone. Chair Delgado asked if that means that the commission would have to vote for a new CEO of MIPAA or if the position carries over. Legal Counsel Thomas Rice stated that it would carry over. Attorney Rice added that it's the same legal entity. Chair Delgado asked if the CEO will carry over if they don't approve the reorg at this meeting. Attorney Rice answered yes. Member Jeffries stated that they had closed session discussions about changing titles and positions and they did not authorize that to occur. Vice Chair Vargas stated that this is a JPA org chart and he understands where Member Jeffries is coming from. Vice Chair Vargas added that the commission should approve the item omitting MIPAA label on the chart. Chair Delgado asked Attorney Rice if the commission approves this item, if it would still need to be brought back. Attorney Rice stated that it's a title item and is what will exist after July 2025. Attorney Rice reiterated that what will cease to exist for the March Joint Powers Authority next year is its land use authority, and the Airport duties and roles remain the same.

A motion to approve Reports, Discussions and Action Items, MIPA – Operations, Item 9 (3) was made removing MIPAA from the organizational chart.

Motion: Jeffries
Second: Vargas
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

- 4) Report/Action: Discussion and action regarding the livestreaming of March JPA Commission Meetings.

Dr. Grace Martin, Chief Executive Officer provided an update on this item.

Chair Delgado stated that the most economical path to livestreaming is to have the meetings at the Riverside County building, in the Board of Supervisors room. Chair Delgado asked if commissioners were willing to drive to the county building once a month. Vice Chair Vargas stated that they are not reinventing the wheel. Member Cabrera stated that the County location is the better option.

The following person(s) provided a public comment on this item in person:

1. Catherine Barrett-Fischer
2. Debbie Walsh

Member Rogers stated that livestreaming will make it easier for people to watch at their convenience. Member Conder stated that he thinks this should be reviewed on a year to

year basis. Chair Delgado asked if there is a contract that will need to be upheld. Dr. Martin answered that if Commission chooses the county location then a contract will be scheduled for the next meeting.

Motion to approve Reports, Discussions and Action Items, MJPA – Operations, Item 9 (4).

Motion: Cabrera
Second: Rogers
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

10. Public Hearing - MJPA

- 1) Action: Take the following actions as they pertain to a request for a Conditional Use Permit for an instructional studio (Stable Jiu Jitsu) in the mixed use zoning district (SP-5, A5) at 22300 Van Buren Boulevard, Suite 104: 1) direct staff to file a Notice of Exemption pursuant to the March Joint Powers Authority local CEQA guidelines section 15301 and 2) adopt Resolution JPA 24-22, adopting findings and approving Conditional Use Permit CUP 24-01 for an instructional studio in the mixed use zoning district (SP-5, A5) at 22300 Van Buren Boulevard, Suite 104, subject to conditions of approval.
Dan Fairbanks, Planning Director provided an update on this item.

Chair Delgado opened the Public Hearing at 3:43 p.m. for public comments, hearing none he closed the Public Hearing at 3:44 p.m.

Member Jeffries asked how long it takes for a mom-and-pop business to get through a Conditional Use Permit (CUP), and how much it costs. Mr. Fairbanks stated that the CUP process is on the magnitude of ninety days. He added that this one took a little longer because it was reassigned. Ms. Sotelo stated that the fee is \$6,327 for an existing building if it is proposed within a building that's going to be developed in the future it's a little more. Member Jeffries stated that it's pretty steep for a mom-and-pop business. He added that it would seem that with ALUC's approval, that staff could approve something of this scale themselves moving forward.

Motion to approve Public Hearing – MJPA, Item 10 (1).

Motion: Vargas
Second: Jeffries
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

11. Consent Calendar

MIPAA – Operations

- 1) Report: Update on JPC Actions, Legislation, Property Transfers, Planning Activities and Staff Activities.
- 2) Report: Receive and file Financial Status Reports.
- 3) Action: Approve April and May 2024 Disbursements.
- 4) Action: Approve a Professional Services Agreement with Aviation Management Consulting Group, Inc. for airport management and consulting services and authorize the Chief Executive Officer to execute the Agreement.

Jeffries stated that he would like to pull item 11 (4) for discussion.

Motion to approve Consent Calendar, MIPAA – Operations, Items 11 (1-3).

Motion: Conder
Second: Cabrera
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

Member Jeffries stated that he ran this consulting group by their county airports manager, and she felt it was an excellent organization to utilize their services. Member Jeffries added that having them evaluate the finances would be something to consider moving forward. A second set of eyes would be helpful to look at challenges that could come with operating the airport. Dr. Martin stated that AMCG’s scope of work includes reviewing airport fee schedules, review of the overall airport budget as well developing a 5-year business plan, among other services, following the Commission’s action on the airport master plan.

Motion to approve Consent Calendar, MIPAA – Operations, Item 11 (4).

Motion: Vargas
Second: Jeffries
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

12. Reports, Discussions and Action Items

MIPAA – Operations

- 1) Report/Action: Receive and approve the March Inland Port Airport Master Plan.
Jake Shearer, C&S Engineering provided an update on this item

The following person(s) provided a public comment on this item in person:

1. Debbie Walsh
2. Catherine Barrett-Fischer

Chair Delgado stated that he wanted to make sure that the base was included in the master plan process. He added that they came back with some suggestions. Member Conder thanked Mr. Shurer with C&S engineering for all the work that has been done. He added that they can co-exist together to improve all Air Force operations.

Member Jeffries stated that the powers-that-be are not on board with parts of these plans. He added that a discussion before the meeting reaffirms that there are significant changes coming that will result from an audit that is being completed. Member Jeffries asked his colleagues to table this item for one month. Member Conder stated that “tabling the item” is not an option but “continuing the item” is. Dr. Martin stated that she will talk to the FAA that the item is going to be continued to the next meeting. She added that the FAA asked that this be submitted to close out an active MIPAA grant.

Vice Chair Vargas asked where MIPAA was at with operations. Dr. Martin stated that there was less than four thousand operations last year. She added that it fluctuates every year. Vice Chair asked if the military will always have priority. Dr. Martin answered yes. Member Jeffries stated that he appreciates his colleagues taking a leap of faith. Chair Delgado stated that he agrees 100% that they need guidance from the Air Force.

Motion to approve Reports, Discussions and Action Items, MIPAA – Operations, Item 12 (1) to be continued until the next meeting.

Motion: Jeffries
Second: Vargas
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

- 2) Action: Approve PMP Phases / GAA Grant acceptance MIPAA.
Dr. Grace Martin, Chief Executive Director and Lauren Sotelo, Senior Planner provided an update on this item.

Chair Delgado asked if this has any affect on the master plan if it’s accepted or if it will be business as usual. Ms. Sotelo answered that it would not have an affect on the master plan.

Motion to approve Reports, Discussions and Action Items, MIPAA – Operations, Item 12 (1).

Motion: Vargas
Second: Rogers
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

- 3) Action: Approve transfer of unused entitlement funds to Southern California Logistics Airport – Victorville.
Dr. Grace Martin, Chief Executive Officer provided an update on this item.

No questions or comments.

Motion to approve Reports, Discussions and Action Items, MIPAA – Operations, Item 12 (3).

Motion: Rogers
Second: Conder
Ayes: Jeffries (2 votes), Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Gutierrez, Perry
Abstain: None

13. Consent Calendar

MJPUA – Operations

- 1) Report: Receive and file Financial Status Reports.
- 2) Action: Approve April and May 2024 Disbursements.

Motion to approve Consent Calendar, MIPAA – Operations, Item 11 (4).

Motion: Cabrera
Second: Rogers
Ayes: Cabrera, Vargas, Rogers, Conder (2 votes), Delgado
Noes: None
Absent: Perry
Abstain: None

14. Presentation

A retirement plaque was presented by the commission to Dan Fairbanks, March JPA Planning Director.

Dr. Martin stated that this was the second year of the summer internship program. She announced that one of the JPA interns, Andrea Aviles, joined the Air Force and has already shipped to bootcamp. Dr. Martin introduced Lyric Banks and thanked her for all she did for the JPA. Lyric was recognized with a certificate and will be leaving to start college at UC Berkley.

15. Commission Members Oral Reports/Announcements

Member Cabrera stated that Moreno Valley Councilman Corey Jackson announced that he was able to secure an expediated emergency payment for pavement work on the 215 freeway from Van Buren. He stated that it will affect traffic so plan accordingly. Vice Chair Vargas stated that there will also be work on the 215 starting at 4th Street to Ramona Expressway.

16. Staff Oral Reports/Announcements

None.

17. Calendaring of Future Agenda Items

Future agenda items may be scheduled by JPC Members or staff.

Vice Chair Vargas stated that they would like to look at the cost of fees for permits for small businesses.

18. Closed Session

CONFERENCE WITH REAL PROPERTY NEGOTIATORS PURSUANT TO GOVERNMENT CODE SECTION 54956.8

Property: 17101 Heacock Street, Suite 200, Moreno Valley, CA 92551
Agency Negotiator: Dr. Grace Martin, Chief Executive Officer
Negotiating Parties: Alameda BC, LLC
Under Negotiation: Price and Terms of Payment

CONFERENCE WITH LEGAL COUNSEL – EXISTING LITIGATION PURSUANT TO GOVERNMENT CODE 54956.9(d)(1)

Case No.: CVRI2402936 - R-NOW and Center for Community Action and Environmental Justice vs. March Joint Powers Authority, et al.

Closed Session began at 4:43 p.m.
Closed Session ended at 5:13 p.m.
There were no reportable actions.

19. Adjournment

This meeting was adjourned at 5:13 p.m.

**March Joint Powers Authority
14205 Meridian Parkway, Suite 140, Riverside, CA 92518
Phone: (951) 656-7000 FAX: (951) 653-5558**

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA Operations - Consent Calendar
Agenda Item No. 8 (1)

Meeting Date: September 11, 2024

Report: **UPDATE ON JPC ACTIONS, LEGISLATION, PROPERTY TRANSFERS AND STAFF ACTIVITIES**

Motion: Move to receive and file the report or take other actions as deemed appropriate by the Commission.

Background:

This report is an update of staff activities since the last March Joint Powers Commission (Commission) meeting. The report is not all-inclusive of staff work. It provides a summary of some activities relating to previous actions or direction by the Commission. **New information is noted in bold.**

Utilities

Natural Gas: The natural gas distribution system was transferred to the March JPUA in December 2004. The March JPUA staff conducts the meter reading and billing functions. The Capacity Survey completed by the Gas Company identified that adequate capacity exists to serve the Army Reserve and CalFire’s planned construction. However, the distribution system will be nearing its maximum capacity during the cold weather season. The Medical Campus development will address the backbone infrastructure upgrades needed for the MJPA Northeast Corner, and would also support our Green Acres housing, for the MJPA. Federal funding for gas line improvements will continue to be requested as part of the MJPA’s legislative agenda. At the Commission’s request, staff researched an alternative to natural gas in Green Acres by analyzing the feasibility of converting the housing units to electric and installing solar to power the homes. That cost was prohibitive to the JPA to pursue and with the historic nature of the homes solar panels were not an option. Staff will continue to seek funding through grant opportunities. March JPA staff met with Sempra Utilities (SoCal Gas) in October to discuss potential plans for sunseting and dissolving the Utilities Authority and ceasing gas services to existing Northeast corner customers; however, as part of dissolving the March JPUA we need a reliable company that can provide natural gas services to our customers. SoCal Gas staff expressed an interest in this transition but requested that MJPA issue a letter memorializing its plans to dissolve its Utilities Authority in the future. On November 24, 2021, the MJPUA approved a Letter of Intent (LOI) to dissolve the MJPUA and cease natural gas services within the JPA Planning Area. The LOI was then sent to the SoCal Gas Company. On December 14, 2021, SoCal Gas and MJPA staff discussed next steps to transitioning MJPUA customers to SoCal Gas by December of 2022. A formal resolution with a transition plan will be presented to the MJPUA Commission in the future for consideration. On February 8th, 2024, SoCal Gas

informed MJPA staff that they've completed an assessment of the gas system and have determined an engineering plan to appropriately take over natural gas service within the JPA's northeast corner. Construction of said plan can start as early as August of 2024. SoCal Gas will share an agreement for JPA's concurrence after their bid process is completed and a contractor's fee has been determined for improvements. SoCal Gas staff recommend a \$2 million budget for the project with final project costs to be determined after their bidding process is completed.

Northeast Corner

March Healthcare Development (MHD): The March Joint Powers Planning Commission recommended approval of the Specific Plan and EIR at their November 4, 2009 Public Hearing. The March Joint Powers Commission (JPC) approved the Specific Plan and certified the EIR at the Public Hearing held November 18, 2009. The Disposition and Development Agreement (DDA) and associated resolutions were approved by the JPC on April 7, 2010. The first building was demolished on July 27, 2010. Approximately 22 structures have been demolished by MHD to date. The concrete and asphalt from the demolition have been consolidated into one stockpile to be recycled. Six additional buildings have been demolished by the JPA using EDA grant funds. Due to the Moreno Valley litigation, and in accordance with the DDA, the Developer notified the JPA that all timelines for MHD's performance under the DDA are suspended effective May 28, 2013, and will not re-commence until the lawsuit is fully and finally dismissed or resolved in a manner which does not interfere with MHD's or the JPA's ability to perform under the DDA. The Notice of Settlement and Abandonment of Appeal was officially filed with the court August 8, 2014. New performance timelines were established based on the 437day force majeure. The first parcel sale closed on April 6, 2015. The remaining EDA grant funds were used to demolish several additional buildings on the northeast corner. This demolition project is now complete. 2/16/16: March JPA received a plot plan application for the Signature Health project on about 7.5 acres at the northwest corner of N Street and 6th Street. 3/24/16: March JPA Staff was informed that water backbone infrastructure plans are near completion and final approval by WMWD. 10/12/16: WMWD issued a Notice to Proceed to MHD to construct the south loop water infrastructure improvements. The waterline project has been completed and energized. 04/12/17: March JPC approved the Second Amendment to the Disposition and Development Agreement. The Amendment was also approved by the Oversight Board on 04/27/17 and was forwarded to the California Department of Finance (DOF) for consideration on May 2, 2017. On May 5, 2017, DOF notified March JPA that it will be reviewing the Oversight Board action. By statute, DOF has 40 days to review the action. On June 14, 2017, DOF disallowed the Oversight Board's approval of the Second Amendment to the DDA. On July 26, 2017, the Commission approved a Force Majeure extending certain performance criteria in the Disposition and Development Agreement. On September 26, 2018, the Commission approved the 2nd Amendment to the Disposition and Development Agreement. On September 28, 2021, the JPA rejected a Force Majeure filed by March1 on September 20th, claiming impacts to the construction schedule due to delays by WMWD. However, on October 12, 2021, WMWD issued a stop work notice for the pressure reducing valve (PRV) that is associated with Phase D-1 of the Lifecare project which could impact the timing of the project. WMWD indicated that the reason for the stop work notice is because they recently received a federal grant from the Department of Defense to increase water capacity for the Base, and because the PRV is connected to that water capacity increase the DOD is requiring WMWD to complete a NEPA study to receive grant funds. Construction of the PRV cannot commence until the NEPA study is completed according to the DOD. MJPA staff is working with WMWD staff to address impacts to MJPA and the Lifecare project. On October 29, 2021, March1 submitted another Force Majeure reiterating impacts to construction due to delays by WMWD. MJPA rejected the second Force Majeure with further direction on next steps for discussions. Since October of

2021, MJPA staff and March1, LLC negotiated terms for a Third Amendment to the March LifeCare Campus Disposition and Development Agreement on January 26th, the Commission approved a Third Amendment to the March LifeCare project DDA. The Amendment established an extension of eight months on Phase 1 infrastructure improvements, giving the master developer until September of 2022 to complete agreed upon improvements. In late December 2021, March1 provided March JPA Staff with a project description, conceptual site plan and building elevations for a proposed Continuing Care Retirement Community (“CCRC”) to provide a continuum of care services for elderly seniors. On January 13, 2022, March JPA Staff held a Pre-Application Meeting for the proposed CCRC. March1 presented the proposed project to March JPA Staff/departments, outside agencies/utility companies and representatives from our member jurisdictions. The meeting was held so that March1 could obtain feedback/information prior to a formal application submittal which would require the vetting of an actual user prior to any entitlements. A formal submittal of plans has not yet been completed. The following matrix represents the status of required DDA-Third Amendment improvements, as of December 26, 2022. On April 12, the commission approved a Fourth Amendment to the DDA. This amendment allowed for the extension of time for completion of the PRV facility from April 11th to July 30th, 2023. A DDA-Fifth Amendment will be presented to the Commission at their 2/14/24 JPC meeting. **MJPA staff is informed that the master developer will not be meeting a required backbone infrastructure milestone by October 3rd, 2024, pursuant to the DDA-Fifth Amendment. The DDA is scheduled for a closed session discussion on 9/11/24.**

	TASK	DUE DATE – per 3 rd Amendment of DDA	STATUS
1	PRV Facility	6 months from Notice to Proceed date	A 5 th Amendment to the DDA will be presented to the Commission at their 2/14/24 JPC meeting. WMWD has completed the required NEPA study for a DOD grant received for the project. A Notice to Proceed was issued on October 11, 2022 with a completion deadline of April 11, 2023. Construction has not yet started. On December 26, 2022, March1 submitted a letter to MJPA requesting a 4th amendment to their DDA modifying language to allow for additional time to complete the PRV facility. The request will be reviewed against the terms of the Agreement. The April 11, 2023, deadline remains. A fourth amendment was approved by Commission at the April 12 th JPC meeting to allow an extension of time on the PRV and a new milestone based on deliverables. NOC not obtained by required deadline.
2	Landscape Improvements – Riverside Drive	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
3	Backbone water infrastructure (per Amended Exhibit D-1) – (i) Riverside Drive and Meyer Drive 24” pipeline; (ii) 12” pipeline along Riverside Drive; (iii) 12” pipeline along N Street; (iv) 12” pipeline along 6 th	No later than July 30, 2022	This task has been completed and requirement is satisfied.

	Street, and subject to Authority Engineer approval.		
4	Slurry seal and restripe existing pavement on roadway sections reflected on Amended Exhibit D-1, and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
5	Structural grind and overlay with restripe on those roadway sections on Amended Exhibit D-1 – min. 0.15 ft . grind and AC overlay, and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
6	Correction of road cross-slopes to match County standards and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
7	Repair of long sewer trench failure along Riverside Drive and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
8	Repair of Drainage inlets identified on Exhibit D-1.1 and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.
9	Remove and replace broken, buckled and distressed concrete sidewalk, curb, and gutter as identified on Exhibit D-1.1 and subject to Authority Engineer approval.	No later than Sept 30, 2022	This task has been completed and requirement is satisfied.

Naval Operational Support Center “NOSC” Parcel: On June 10, 2017, the Navy broke ground at its new site within the cantonment fence. The new Navy Operational Support Center was completed August 2019. Due to COVID-19, the transfer was delayed until Spring 2021. At the June 9, 2021 Commission meeting, the JPC accepted the grant from the Navy for the Navy Operational Support Center in the Northeast Corner. The Navy parcel transfer completed the land swap authorized by Congress in 2005. In March of 2022, Brigadier General Peter Cross of the CA Army National Guard, contacted Dr. Martin regarding their interest in installing a Youth Challenge Academy at March. Their closest academy (“Sunburst”) is housed at the Los Alamitos Joint Forces Training Base in LA County with a high attendance rate from Riverside County youth. As the NOSC building exists outside of the limits of the March LifeCare Campus Specific Plan, the CAARNG expressed interest in using the site for their program. The project could yield a \$30 million investment in the region. On October 19, 2022, staff received an email from CAARNG indicating an interest in purchasing the site. MJPA staff is in the process of coordinating an Exclusive Negotiating Agreement with the National Guard. The agreement was

approved at the January 11, 2023 JPC. Since that time CAARNG requested updates as such, a revised ENA is scheduled for Commission consideration at their April 12th meeting. On April 12th, the Commission voted to adopt the amended ENA and the agreement was fully executed on April 27th, 2023 between the parties. Senator Roth submitted SB228 to state legislators in 2023 and the State approved \$500,000 for CMD to complete an assessment of the NOSC building for the Youth Challenge program. An appraisal of the NOSC building along with construction planning were completed in the Fall of 2023. Costs were estimated at a little more than \$170 million. CMD staff is currently discussing options for funding with state and federal legislators.

Green Acres: The approximate 52.72-acre historic area (“Property”) is comprised of one-hundred and eleven historic homes that are currently owned and managed by the Authority. The Property is located on the southwest corner of Riverside Drive and Meyer Drive just outside of the March Air Reserve Base (Base) cantonment area. The Property was quitclaimed to the Authority in 2006, as part of the Base Realignment and Closure process of 1995, and recorded in the County of Riverside’s Official Records as Document No. 2006-0783416 (Quitclaim Deed). In April of 2022, the JPA advertised the availability of the Property for sale through an invitation to submit Letters of Interest to either purchase the property outright, or to redevelop the property through a development agreement. Invitations were sent to non-profit, government and private entities. Proposals were due no later than August 31, 2022. While staff received several inquiries on the property, only one formal proposal was received before the deadline. On March 6th through March 8th, 2023, the Chair and CEO attended the Association of Defense Communities wherein extensive discussions occurred with Office of Local Defense Community Cooperation (OLDCC) representatives regarding partnership opportunities with the Base. As housing continues to be a significant issue of concern for the military, the Chair is interested in utilizing Green Acres to support March Base housing needs. As such, the CEO was asked to place an item on the 3/22/23 agenda for the Commission to reconsider its previous decision to dispose of the Green Acres development. On 3/22/23, the Commission voted to retain Green Acres and work with March Air Reserve Base on their housing needs.

Attachment: None

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA Operations - Consent Calendar
Agenda Item No. 8 (2)

Meeting Date: September 11, 2024

Report: **UPDATE ON PLANNING ACTIVITIES**

Motion: Move to receive and file the report or take other action as deemed appropriate by the Commission.

Background:

This report is a status update of major planning projects. The report is not all-inclusive of staff work. It provides a summary of some activities relating to major planning projects or direction by the March Joint Powers Commission. In all cases, the following projects are required to return to the March Joint Powers Commission for final action. **New information is noted in bold.**

March JPA General Plan Update: Project on hold. Last update provided 09/28/22.

Community Sports Complex

Objective: Plan, design and finance 48–60-acre Sports Complex through the Sports Complex Committee

Status: A parks sub-committee, consisting of the four-member jurisdiction Parks Director’s was formed in 2006 to review potential locations for the park identified in the 2003 Settlement Agreement. The preparation of an aviation safety study was authorized for the optional park sites by the March Joint Powers Commission on February 20, 2008. A Parks Subcommittee meeting was held on January 28, 2009, at which time the Subcommittee accepted the recommendation of ESA to continue to analyze a new location for a park site. The committee directed LNR to identify a new potential Park site to be reviewed at the next Parks subcommittee meeting. The Parks Subcommittee met on March 11, 2009, and at that time, the subcommittee toured three proposed park sites. It was generally agreed that all three park sites were valid alternatives for the Park. On May 11, 2009 a subcommittee of the Parks Committee recommended selection of a park site near Grove Community Church. On March 2, 2016, the March Joint Powers Commission authorized the selection of Willdan Financial Services to prepare the Parks Development Impact Fee (DIF) study that will partially fund the planned Sports Complex. On May 31, 2016, MJPA staff met with City of Riverside Parks Director, Adolfo Cruz and other senior Parks and Recreation staff to obtain input on the MJPA parks DIF study. On August 17, 2016, March JPA staff met with Scott Bangle – Riverside County Parks General Manager and Spencer Campbell – City of Perris Parks Recreation Supervisor II to discuss the future March JPA Parks Impact Fee. The framework for a Parks/Recreation Development Impact Fee was provided by Willdan Financial Services on February 13, 2017. A revised draft fee analysis was provided by Willdan on March 14, 2017, and reviewed with the member jurisdictions Parks

Directors on April 4, 2017. A conference call was held with Willdan Consultants regarding the final draft Parks DIF study on 9/15/17. Upon gaining concurrence with the member jurisdiction's Parks Directors, this item appeared before the Parks Ad Hoc Sub-Committee, and to the Technical Advisory Committee, prior to presenting to the full March Joint Powers Authority Commission. On 10/19/17, the City of Riverside and the County Parks representatives consented to the methodology used in the Parks Development Impact Fee Study. A Parks Subcommittee (Victoria Baca, Kevin Jefferies and Andy Melendrez and the member jurisdictions Parks Directors) was held on December 20, 2017 to review the draft March JPA Parks Nexus Study. At the direction of the Ad Hoc Committee, March JPA reviewed the parks nexus study with March ARB staff and the Riverside County Airport Land Use Commission and returned this item to the Ad Hoc Parks Subcommittee within 90 days. On February 22, 2018 March JPA met with the Riverside County Airport Land Use Commission staff and March ARB staff to discuss various park development alternatives, and to discuss the intensity of those uses in terms of people per acre. The Riverside County Airport Land Use Commission staff and March Air Reserve Base staff requested additional information regarding the density/intensity of the proposed sports complex. In 2018, analysis and approval of the Parks Development Impact Fee was terminated by Danielle Wheeler, Executive Director. On September 22, 2021, the Meridian Park LLC development group held a community meeting within the City of Riverside at the Orange Terrace Community Center, to share draft development plans for the MJPA's weapons storage area (aka Upper Plateau) with the public and obtain community feedback on a proposed 60-acre recreation/open space area within their overall Upper Plateau Specific Plan. The development group, in coordination with MJPA staff, held meetings with Riverside County and city parks and recreation staff regarding the proposed park location and design prior to scheduling a second community meeting to obtain public feedback on park features. On February 14, 2022, March JPA and developer hosted an all hands meeting with parks directors from member agencies to discuss the proposed 60-acre recreation/open space area within the proposed Upper Plateau Specific Plan. Attendees also included Riverside Councilmember Chuck Conder, Riverside City Manager Al Zelinka, and Riverside Police Chief Larry Gonzalez. A discussion ensued regarding the development of a City of Riverside Police Station at the Park site. As a result of the meeting, the developer, City of Riverside and JPA Staff are reviewing the parameters of the pertinent Settlement Agreements and Development Agreements to determine flexibility in the development of the park and potential police station. The JPC Parks Subcommittee met to discuss the status of the community park on May 9, 2022. At that time, an overview of the Center for Biological Diversity et al. v. Bartel et al. settlement agreement was provided identifying that this settlement released 424-acres for development with an additional 60-acres allowed for the planned community park. Discussion also occurred regarding the early proposal for rough grading and installation of utilities on the 60-acre park site and future disposition of the park site. The Parks Committee requested that this item be returned for future discussion prior to any action by the full Commission. Meetings of parks officials and senior management from Riverside County and the City of Riverside were held on December 4, 2023 and January 18, 2024 to discuss the proposal for a park as a component of the West Campus Upper Plateau. Follow-up meetings are expected.

Perris Valley Channel Lateral B

Objective: Prepare Environmental Documents for Final Segment

Status: An MOU for the construction of Lateral B, Stages 6 and 7, was approved between the MJPA and Meridian Park LLC, on September 28, 2022. This MOU completes the funding plan for Segments 1 and 2. Project is anticipated to be completed within 24-month timeline. March JPA staff is finalizing the final draft Mitigated Negative Declaration (MND) under CEQA for Stage 6 of the Perris Valley Channel Lateral B, the final segment which is located within

Riverside National Cemetery property. This CEQA document was available for a 30-day public review period which began on June 28, 2023. Staff is currently finalizing the details of the Cooperative Agreement with Flood Control, which will address the construction, inspection, maintenance, acceptance, and operation of this segment. It is anticipated this Project will go before the Commission during 1st quarter 2024.

Heacock Flood Control Channel: Project complete. Project history last posted 09/28/22. On May 10, 2023, a 1.09-acre easement behind the March ARB Commissary, was approved by the Commission for transfer to RCFCWCD for maintenance purposes. A 1,195 square foot-triangular, easement area, behind the March ARB Commissary is on this agenda for Commission consideration, for the approval of transfer to RCFCWCD for maintenance purposes.

Cactus Flood Control Project:

Objective: Flood Control Improvement to Cactus Channel

Status: Project history last posted 9/28/22.

RCFCWCD has completed 90 percent of the design work on construction plans for the project and is finalizing the Cooperative Agreement between March Air Reserve Base, March JPA, USDA and private developers for the funding and construction of the project. Because there is a shortage on funding for the project, staff continues to research grant opportunities that can be pursued in partnership with RCFCWCD. On May 17, 2022, USDA staff confirmed their agency's ownership of the Cactus channel segment along their property. A formal request from the RCFCWCD was submitted to begin the easement transfer of channel property within USDA's jurisdiction, to the District for future installation of Cactus Channel improvements. On June 14th and 15th, 2022, March JPA commissioners and staff met with the USDA and Air Force Reserve Command during a legislative trip to Washington DC and discussed the Cactus channel and need for permanent right-of-way and support for funding on their individual segments of the channel project. Overall, the USDA and Air Force Reserve are supportive of issuing easements for construction and maintenance on the channel. Feedback on funding from both agencies is forthcoming. In March of 2023, RCFCWCD, MJPA, MARB and City of Moreno Valley met to discuss the Cooperative Agreement for the project. Agencies will start reviewing terms again and meet regularly to finalize an agreement for execution.

West Campus Upper Plateau:

Objective: Private Development, generating revenue and jobs

A proposed project to develop an approximate 360-acre Specific Plan (SP-9) and record a Conservation Easement on 445-acres of Open Space. The development area (Specific Plan) is generally located east of Barton Street, approximately 1,600' south of Alessandro Boulevard, and 1,500' north of Grove Community Drive in the general area occupied by the former March Air Force Base Weapon Storage Area. The four Business Park parcels to the north would be a total of 34.50 acres, the Business Park parcel to the east would be 9.38 acres, and the two Business Park Parcels to the south would total 22.47 acres. Similar to all other Specific Plans in the March JPA planning area, the three Mixed-Use parcels would include a variety of land uses but would not include the development of residential units. The three Mixed-Use parcels would be 10.77 acres, 26.60 acres, and 5.45 acres and would be located along the west side, just east of the Barton Street extension, and along the southeast corner of the Development Area. The two Public Facility parcels would consist of a 2.12-acre Western Municipal Water District sewer lift station to be developed along the east side of the Development Area just south of Cactus Avenue, and a 1.41-acre utility facility located southeast of the Western Municipal Water District facility. The three open space areas would consist of a larger open space area and two smaller open space areas. The larger open space area would be 50.00 acres and would consist of trails for recreational

users. The larger open space area would be located directly east of the Barton Street extension and just south of the park area. Two small parking areas would be located on the eastern edge of the larger open space area to provide access for park users. The first smaller open space area would be approximately 11.98 acres and would be located directly north of the four Business Park Parcels. The second smaller open space area would be 2.48 acres and would be located south of Bunker Hill Drive, between one of the Mixed-Use Parcels and the two Business Park Parcels, as well as along the southern perimeter of the proposed Development Area from Barton Street to Cactus Avenue. The open space parcels would provide further buffer to the Conservation Area. The proposed Development would retain 2 of the existing 16 military bunkers, which were previously used for munitions storage by March AFB prior to March AFB's realignment in 1993. An active recreational park area would be approximately 10.00 acres and would be located west of Barton Street and directly north of the larger open space area. The developer has offered to grade and construct the initial 10-acres of park area and maintain the park area through a CFD. The remaining 50-acres of park space, under the developer's proposal, could remain as passive recreational space until the City or County was interested in developing active recreational space. A project Notice of Preparation was circulated to 93 public agencies and interested parties on November 20, 2021. An environmental scoping meeting was advertised in the Press Enterprise on November 26 and held on December 8, 2021. At present an Environmental Impact Report is being prepared for the project. On February 14, 2022, March JPA and Meridian Park, LLC hosted an all hands meeting with county and city parks directors, Riverside city and county officials. A discussion of the parks meeting is outlined under the previously listed Community Sports Complex section. A Zoom call Community Meeting was held on March 24, 2022 at 6:00 PM to 7:30 PM. Various West Campus Upper Plateau application materials are available on the March JPA website, including the video of the Community Zoom meeting at: https://marchjpa.com/documents/docs_forms/03022022_GMT20220225-015209_Recording_1920x1080.mp4. The JPC Airport Land Use Study Subcommittee met to discuss the status of the Riverside County Airport Land Use Commission (RCALUC) review of the West Campus Upper Plateau on May 11, 2022. At that time, the RCALUC recommendation was for a finding of conditionally consistency with the March ARB/IP airport compatibility plan. Discussion occurred regarding the prohibition of public assembly uses, as well as a discussion regarding the proposed building heights and building setbacks. The Subcommittee requested that a subsequent discussion occur with the committee when the applicant's renderings and photo simulations are submitted as part of the environmental review process. On May 12, 2022, the Riverside County Airport Land Use Commission determined the West March Upper Plateau Project was conditionally consistent with the March Air Reserve Base/Inland Port Airport Compatibility Plan. The finding of consistency included conditions prohibiting public assembly uses including churches and requires the submittal of a BASH study by a Wildlife Hazard Biologist as a future component of the EIR process. On August 18th, a public workshop was held at the March Field Air Museum where developers discussed the proposed development with members of the public and solicited input prior to the release of a draft EIR. The West Campus Upper Plateau Draft EIR was circulated for public review on Monday, January 9, 2023, and the 60-day review ended on Friday, March 10, 2023. On December 2, 2023, the draft EIR was recirculated identifying new information pertaining to the Air Quality, Hazards and Hazardous Materials, and Land Use and Planning sections to the draft EIR. An amended recirculated Notice of Preparation was recirculated for the West Campus Upper Plateau Draft EIR on Monday, January 9, 2023, as some of the project appendices pages were blank. The current due date for comments is March 10, 2023.

U.S. Vets – Specific Plan Amendment, Plot Plan Amendment:

Objective: Private Development, to provide housing and services to area Veterans

United States Veterans Initiative (US Vets, Applicant) proposes new building uses to the March Veterans Village Campus, located at the southwest corner of N Street and 6th Street, within the US Vets Transitional Housing Specific Plan Area (SP-6), within the jurisdiction of the March Joint Powers Authority, Riverside County, California. Specifically, the Applicant seeks to amend the US Vets Transitional Housing Specific Plan, (SP-6) and Plot Plan (PP 10-02) to allow for a two-story, 24-unit transitional housing building and 44-permanent supportive housing units, for a total of 68-units, to be developed on the remaining 3.05 -acres of the Campus, where the remainder of Phase 2 and Phase 3 development would take place. Buildings 4 - 8, would be eliminated. Each studio unit within the transitional housing building will be approximately 375 square feet, while the permanent supportive housing units will be approximately 500 square feet in size. The proposed Project would reduce the total number of units from 323 to 222 and the total number of beds from 401 to 283. Staff received a formal application and documentation on February 23, 2023. Staff has reviewed the application/documentation for completeness and has distributed the project documentation to MJPA Departments and reviewing agencies on March 2, 2023 and most comments were received on March 23, 2023. Tribal consultation is required under SB 18 (Specific Plan Amendment) and 14 Tribes were contacted for consultation. Staff will introduce the proposed Project to TAC in early April 2023. It should be noted that US Vets provided an update on the March Vets Village Campus and presented a concept of the proposed project to the JPC on April 13, 2022. The proposed project was presented to TAC on April 3, 2023. US Vets is now working on responses to the first round of staff and review agency comments. The proposed project is also being reviewed by Riverside County ALUC staff. It is anticipated that ALUC Commission will consider the proposed project in July 2023. On July 10, 2023, Staff discussed the proposed project and the availability of requested information with the Tribal Historic Preservation Official (THPO) from Agua Caliente. The THPO was satisfied with the discussion and decided to end consultation. A formal letter was received on July 13, 2023. The proposed project was considered by the ALUC Commission on July 13, 2023, and found to be “Consistent” with the March Reserve Base / Inland Port Airport Land Use Compatibility Plan. The proposed project was presented to TAC on December 4, 2023. Commission review of the proposed project is scheduled for February 14, 2024. On February 14, 2024, the March Joint Powers Commission considered and approved the following in support of the U.S. Vets Transitional Housing Program Specific Plan (SP-6): 1) Resolution #JPA 24-01, Adopting a CEQA Addendum to the Certified March LifeCare Campus Specific Plan Final Program EIR (SCH# 2008071021) in support of the U.S. Vets Transitional Housing Program Specific Plan, Approving Plot Plan PP 10-02, Amendment #1, subject to Conditions of Approval for the development of the U.S. Vets Transitional Housing Program Specific Plan Project; and 2) Introduced and waived the first reading of Ordinance #JPA 24-01 approving the U.S. Vets Transitional Housing Program Specific Plan Amendment No. 1 (SP-6, A1) and direct Staff to place this item on a future Commission Agenda for the Second Reading and formal adoption; and 3) A Ground Lease agreement between March Joint Powers Authority and United States Veterans Housing Corporation for a 75-year ground lease on the remaining 3.05-acres located at the southeast corner of N Street and 4th Street, within the northeastern portion of the March Joint Powers Authority jurisdictional boundaries. Commission consideration and second reading of Ordinance JPA #24-01, for the U.S. Vets Transitional Housing Program Specific Plan Amendment No. 1 (SP-6, A1), has been scheduled for March 13, 2024. On March 13, 2024, the March Joint Powers Commission adopted Ordinance JPA #24-01 for the U.S. Vets Transitional Housing Program Specific Plan Amendment No. 1 (SP-6, A1). U.S.VETS “Comfort Homes” building plans are in review.

Attachment: None

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA Operations - Consent Calendar
Agenda Item No. 8 (3)

Meeting Date: September 11, 2024

Report: **RECEIVE AND FILE FINANCIAL STATUS REPORTS**

Motion: Move to receive and file the Financial Status Reports or take other actions as deemed appropriate by the Commission.

Background:

The monthly Financial Status Reports are a summary of operational income and expenses for the months of June and July 2024 and for the fiscal year to date. It provides a summary of the March Joint Powers Authority's (March JPA's) ongoing activities related to the March JPA's approved FY 2023/24. Included in the financials are the quarterly Investment Policy Compliance Statement reports which includes the report provided by Citizens Trust for the quarter ending June 30, 2024.

Attachment(s):

- 1) Financial Status Reports for June and July 2024
- 2) Fourth Quarter FY 2023/24 Investment Policy Compliance Statement Reports.

ASSETS

Cash In Bank	\$ 6,550,468.55
Petty Cash	300.00
Investment Account	4,879,378.34
Meridian Drainage Fee Acct	2,513,630.67
CalPERS Benefit Trust	12,067,581.40
County Fire Facilities Fund	1,861,056.71
Accounts Receivable	922,430.61
Accounts Receivable - Leases	1,349,157.70
Loans Receivable	2,013,926.60
MIP Loan Receivable	2,687,896.35
RDA Loan Receivable	81,180.24
MJPUA Loan Receivable	450,000.00
Due From Other Funds	100,000.00
Interest Receivable	1,672,366.67
Insurance Deposits	1,283.00

Total Assets \$ 37,150,656.84

LIABILITIES

Accounts Payable	417,590.69
Payroll Liabilities	-
Deposits in Trust	327,435.62
County Fire Facility	1,824,540.34
Meridian Drainage Fees	1,964,224.57
Lifecare Campus Drainage Fees	82,243.53
Meridian–St. F Sgnl Fair Share	637,826.15
MARB Heacock Project Funds	666.72
Deferred Inflows - Leases	1,349,157.70

Total Liabilities 6,603,685.32

FUND BALANCE

Fund Balance, Beginning of Fiscal Year	31,401,223.58
Change in Fund Balance for the twelve months ending June 30, 2024	<u>(854,252.06)</u>

Ending Fund Balance, June 30, 2024 30,546,971.52

Total Liabilities and Fund Balance \$ 37,150,656.84

General Ledger
Expenses vs Budget



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User: SchumacherN
Printed: 8/23/2024 11:59:36 AM
Period 12 - 12
Fiscal Year 2024

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
100	General Fund					
100-10-50100-05	Salaries and Wages	847,890.00	35,501.03	854,701.03	-6,811.03	-0.80
100-10-50100-10	Benefits	132,926.00	6,340.28	109,532.54	23,393.46	17.60
100-10-50100-15	PERS Contributions	110,631.00	0.00	75,010.83	35,620.17	32.20
100-10-50100-20	Medicare Tax	13,855.00	555.88	13,153.75	701.25	5.06
100-10-50100-25	Unemployment	2,000.00	0.00	0.00	2,000.00	100.00
100-10-50100-30	Workers Compensation Ins.	20,270.00	2,890.08	4,785.80	15,484.20	76.39
100-10-50100-32	Temporary Office Help	20,000.00	9,246.15	25,654.31	-5,654.31	-28.27
100-10-50100-35	Employee Recruitment	1,000.00	0.00	332.50	667.50	66.75
100-10-50100-99	Unfunded Accrued Liab(UAL)	111,312.00	7,328.83	78,865.37	32,446.63	29.15
100-10-50150-02	Mileage Reimbursement	1,000.00	36.58	382.81	617.19	61.72
100-10-50150-04	Payroll Services	7,500.00	0.00	1,619.45	5,880.55	78.41
100-10-50150-06	PeriodicalsMemberships	15,000.00	78.00	9,030.01	5,969.99	39.80
100-10-50150-08	EducationTraining	12,500.00	880.00	11,198.31	1,301.69	10.41
100-10-50150-12	Travel	70,000.00	1,518.46	64,268.89	5,731.11	8.19
100-10-50150-14	JPC Members' Stipend	17,300.00	2,800.00	15,700.00	1,600.00	9.25
100-10-50150-15	Meeting Expenses	13,000.00	4,090.83	13,070.02	-70.02	-0.54
100-10-50150-16	Office Supplies	15,000.00	3,874.31	18,392.58	-3,392.58	-22.62
100-10-50150-18	Telephone & Internet Expense	7,400.00	719.10	5,217.16	2,182.84	29.50
100-10-50150-20	Mobile Phones	12,000.00	97.21	10,097.77	1,902.23	15.85
100-10-50150-24	Postage	3,750.00	249.89	5,346.03	-1,596.03	-42.56
100-10-50150-26	Liability Insurance - PERMA	160,000.00	0.00	102,279.31	57,720.69	36.08
100-10-50150-30	Printing - Outside	3,500.00	154.58	3,602.28	-102.28	-2.92
100-10-50150-32	Equipment Leases	35,000.00	2,880.49	32,642.39	2,357.61	6.74
100-10-50150-34	Equipment Maintenance	80,000.00	25,738.05	60,718.98	19,281.02	24.10
100-10-50150-35	Vehicle Fuel & Maintenance	4,100.00	1,593.53	3,886.77	213.23	5.20
100-10-50150-38	ProductionArtwork	13,000.00	2,465.74	4,174.96	8,825.04	67.88
100-10-50150-39	MarketingBranding	25,000.00	3,362.38	3,362.38	21,637.62	86.55
100-10-50150-40	Promotional Activities	50,000.00	9,853.78	32,056.72	17,943.28	35.89
100-10-50150-42	Bank Fees	37,000.00	0.00	26,699.56	10,300.44	27.84
100-10-50150-46	Office Custodial	7,000.00	890.00	6,880.00	120.00	1.71
100-10-50150-47	Office Rent	72,000.00	6,048.13	73,133.50	-1,133.50	-1.57
100-10-50150-48	Office Utilities	13,400.00	1,458.51	13,791.19	-391.19	-2.92
100-10-50200-02	General Legal Services	200,000.00	49,001.37	180,184.24	19,815.76	9.91
100-10-50200-04	Special Legal Services	45,000.00	1,104.00	35,461.39	9,538.61	21.20
100-10-50200-10	Legal Property Surveys	10,000.00	0.00	312.00	9,688.00	96.88
100-10-50200-14	Annual Audit	40,000.00	20,500.00	20,500.00	19,500.00	48.75

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
100-10-50200-20	D.C. and State Lobbyist	130,000.00	25,155.88	64,145.27	65,854.73	50.66
100-10-50200-22	Engineering Services	0.00	2,306.00	3,306.00	-3,306.00	0.00
100-10-50200-25	General Consulting Services	455,000.00	44,975.11	546,137.60	-91,137.60	-20.03
100-10-50200-40	Foreign Trade Zone	8,000.00	0.00	5,300.48	2,699.52	33.74
100-10-50300-02	Equipment Office Furniture	35,000.00	2,938.27	4,645.17	30,354.83	86.73
100-10-50300-04	Computer Hardware	10,000.00	0.00	0.00	10,000.00	100.00
100-10-50300-06	Computer Software	20,000.00	0.00	19,665.42	334.58	1.67
100-20-51150-00	Property Insurance - PERMA	48,000.00	0.00	47,177.00	823.00	1.71
100-20-51200-00	Building Maintenance	65,000.00	4,332.64	30,915.95	34,084.05	52.44
100-20-51250-00	Grounds Maintenance	100,000.00	16.28	42,321.99	57,678.01	57.68
100-20-51255-00	Street & Lighting Maintanenc	35,000.00	0.00	6,024.08	28,975.92	82.79
100-20-51300-00	Equipment Maintenance	0.00	0.00	10,151.23	-10,151.23	0.00
100-20-51325-00	Equipment Purchases	60,000.00	20.44	46,068.01	13,931.99	23.22
100-20-51335-00	Demolition Costs	500,000.00	1,925.00	1,925.00	498,075.00	99.62
100-20-51350-00	Utilities	20,750.00	776.00	4,223.52	16,526.48	79.65
100-20-51355-00	Fuel Costs	2,500.00	0.00	0.00	2,500.00	100.00
100-20-51360-00	Police Patrols	250,000.00	43,289.42	206,597.64	43,402.36	17.36
100-20-51365-00	Security	120,000.00	17,629.70	81,778.40	38,221.60	31.85
100-20-51400-00	Bad Debt Expense	3,500.00	0.00	0.00	3,500.00	100.00
100-30-52100-00	Plan PreparationAdoption	0.00	0.00	602.28	-602.28	0.00
100-30-52200-00	Plan CheckInspection Fees	1,325,000.00	126,811.82	521,566.45	803,433.55	60.64
100-30-52220-00	Education Training	2,500.00	0.00	691.50	1,808.50	72.34
100-30-52250-00	Environmental Fees	45,000.00	0.00	34,045.00	10,955.00	24.34
100-30-52300-00	Printing Costs	10,000.00	0.00	0.00	10,000.00	100.00
100-30-52325-00	Planning Software	25,500.00	0.00	24,113.22	1,386.78	5.44
100-30-52350-00	Public NoticesFilings	3,000.00	237.00	3,306.66	-306.66	-10.22
100-30-52400-00	Enviromental Rev & Consult	2,500.00	11,863.50	11,863.50	-9,363.50	-374.54
Expense Total		5,505,584.00	483,534.25	3,632,616.20	1,872,967.80	34.0194
Grand Total		5,505,584.00	483,534.25	3,632,616.20	1,872,967.80	0.3402

General Ledger
Revenue vs Budget

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March Joint Powers Authority
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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
100	General Fund					
100-00-40100-00	LEASE REVENUE	-140,461.00	-12,217.05	-146,516.49	6,055.49	104.31
100-00-40300-00	PLANNING FEES	-1,035,000.00	-6,546.00	-1,325,504.32	290,504.32	128.07
100-00-40310-00	DDA Billable Planning Fee	0.00	58,977.56	249,399.27	-249,399.27	0.00
100-00-40400-00	BUILDING PERMIT FEES	-800,000.00	-136,083.45	-379,932.78	-420,067.22	47.49
100-00-40430-00	PUBLIC WORKS FEES	-400,000.00	-3,750.00	-169,541.20	-230,458.80	42.39
100-00-40600-00	INTEREST INCOME	-433,500.00	0.00	-826,731.57	393,231.57	190.71
100-00-40655-00	FOREIGN TRADE ZONE	-71,000.00	0.00	-55,500.00	-15,500.00	78.17
100-00-40675-00	TRAINING & FILMING FEES	-1,100.00	0.00	0.00	-1,100.00	0.00
100-00-40750-00	MISCELLANEOUS REVENUE	-10,000.00	0.00	-12,649.27	2,649.27	126.49
100-00-40799-00	GAINLOSS ON FV OF INVESTMENTS	0.00	0.00	-176,993.18	176,993.18	0.00
100-00-40800-00	SUCCESSOR AGENCY FEES	-250,000.00	0.00	0.00	-250,000.00	0.00
	Revenue Total	3,141,061.00	99,618.94	2,843,969.54	297,091.46	90.5417
	Grand Total	3,141,061.00	99,618.94	2,843,969.54	297,091.46	0.9054

ASSETS

Cash In Bank	\$ 3,927,659.60
Accounts Receivable	<u>25,491.22</u>
Total Assets	<u>\$ 3,953,150.82</u>

LIABILITIES

Accounts Payable	198,218.73
LLMD #1 Modification Deposit	6,930.80
Damage Repair Deposits	<u>7,193.17</u>
Total Liabilities	<u>212,342.70</u>

FUND BALANCE

Fund Balance, Beginning of Fiscal Year	3,337,929.32
Change in Fund Balance for the twelve months ending June 30, 2024	<u>402,878.80</u>
Ending Fund Balance, June 30, 2024	<u>3,740,808.12</u>
Total Liabilities and Fund Balance	<u>\$ 3,953,150.82</u>

General Ledger
Expenses vs Budget



March Joint Powers Authority
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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
120	Meridian LLMD No. 1					
120-40-65005-00	Traffic Signals	30,000.00	20,383.36	48,159.54	-18,159.54	-60.53
120-40-65010-00	Signage	350.00	0.00	0.00	350.00	100.00
120-40-65015-00	Lighting	81,500.00	13,450.16	99,877.45	-18,377.45	-22.55
120-40-65020-00	Landscaping	1,000,000.00	230,988.95	1,188,794.39	-188,794.39	-18.88
120-40-65025-00	Drainage	125,000.00	0.00	153.87	124,846.13	99.88
120-40-65030-00	Street Sweeping	40,000.00	14,690.00	16,190.00	23,810.00	59.53
120-40-65035-00	Graffiti Removal	4,500.00	0.00	0.00	4,500.00	100.00
120-40-65118-05	Salaries and Wages	74,890.00	1,454.28	31,537.69	43,352.31	57.89
120-40-65118-10	Benefits	12,079.00	246.97	5,354.36	6,724.64	55.67
120-40-65118-15	PERS Contributions	7,393.00	180.41	4,118.60	3,274.40	44.29
120-40-65118-20	Medicare Tax	1,246.00	20.91	444.09	801.91	64.36
120-40-65118-30	Workers Compensation Ins.	5,336.00	0.00	-30.27	5,366.27	100.57
120-40-65118-99	Unfunded Accrued Liab(UAL)	35,284.00	0.00	0.00	35,284.00	100.00
120-40-65120-00	Operations	19,982.00	2,133.94	14,267.96	5,714.04	28.60
120-40-65125-00	TransportationCommunication	10,200.00	359.93	5,156.50	5,043.50	49.45
120-40-65130-00	Liability Insurance - PERMA	14,400.00	0.00	11,710.81	2,689.19	18.67
120-40-65135-00	Assessment Engineer	10,800.00	1,720.00	10,720.00	80.00	0.74
120-40-65140-00	Professional Services	91,000.00	7,955.01	41,005.01	49,994.99	54.94
120-40-65145-00	Publication	240.00	0.00	0.00	240.00	100.00
120-40-65500-01	Meridian Pkwy-Sidewalk Repairs	300,000.00	0.00	158,172.30	141,827.70	47.28
120-40-65500-05	Tree Replacement	300,000.00	1,700.00	33,261.88	266,738.12	88.91
120-40-65500-10	Van Buren Pavement Repairs	20,000.00	0.00	0.00	20,000.00	100.00
120-40-65500-15	Park Improvements	235,000.00	0.00	0.00	235,000.00	100.00
120-40-65500-20	Vehicle Purchase	60,000.00	41,776.25	41,776.25	18,223.75	30.37
Expense Total		2,479,200.00	337,060.17	1,710,670.43	768,529.57	30.9991
Grand Total		2,479,200.00	337,060.17	1,710,670.43	768,529.57	0.31

General Ledger Revenue vs Budget

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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
120	Meridian LLMD No. 1					
120-00-40260-00	Assessments	-2,256,000.00	0.00	-2,115,451.82	-140,548.18	93.77
	Revenue Total	2,256,000.00	0.00	2,115,451.82	140,548.18	93.77
	Grand Total	2,256,000.00	0.00	2,115,451.82	140,548.18	0.9377
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ASSETS

Cash In Bank	\$	164,459.44
Accounts Receivable		<u>347.75</u>
Total Assets	\$	<u>164,807.19</u>

LIABILITIES

Accounts Payable		7,808.76
Payroll Liabilities		<u>19,561.32</u>
Total Liabilities		<u>27,370.08</u>

FUND BALANCE

Fund Balance, Beginning of Fiscal Year		179,364.68
Change in Fund Balance for the twelve months ending June 30, 2024		<u>(41,927.57)</u>
Ending Fund Balance, June 30, 2024		<u>137,437.11</u>
Total Liabilities and Fund Balance	\$	<u>164,807.19</u>

General Ledger
Expenses vs Budget



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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
140	March Lifecare Campus CFD 2013					
140-40-65005-00	Traffic Signals	3,000.00	310.70	1,220.71	1,779.29	59.31
140-40-65015-00	Lighting	10,000.00	1,490.34	9,107.23	892.77	8.93
140-40-65020-00	Landscaping	15,000.00	3,953.24	16,373.19	-1,373.19	-9.15
140-40-65025-00	Drainage	0.00	0.00	765.00	-765.00	0.00
140-40-65030-00	Street Sweeping	6,000.00	5,330.00	5,330.00	670.00	11.17
140-40-65035-00	Graffiti Removal	750.00	0.00	0.00	750.00	100.00
140-40-65040-00	Weed Abatement	26,000.00	18,186.00	23,826.00	2,174.00	8.36
140-40-65118-05	Salaries and Wages	14,635.00	550.60	13,915.98	719.02	4.91
140-40-65118-10	Benefits	2,684.00	105.03	2,487.63	196.37	7.32
140-40-65118-15	PERS Contributions	2,057.00	88.01	2,198.52	-141.52	-6.88
140-40-65118-20	Medicare Tax	249.00	7.00	177.60	71.40	28.67
140-40-65118-30	Workers Compensation Ins.	2,678.00	0.00	-10.77	2,688.77	100.40
140-40-65130-00	Liability Insurance - PERMA	5,000.00	0.00	3,253.00	1,747.00	34.94
140-40-65135-00	Assessment Engineer	3,000.00	0.00	5,000.00	-2,000.00	-66.67
Expense Total		91,053.00	30,020.92	83,644.09	7,408.91	8.1369
Grand Total		91,053.00	30,020.92	83,644.09	7,408.91	0.0814

General Ledger
Revenue vs Budget



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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
140	March Lifecare Campus CFD 2013					
140-00-40260-00	Taxes	-54,061.00	0.00	-42,467.16	-11,593.84	78.55
	Revenue Total	54,061.00	0.00	42,467.16	11,593.84	78.5542
	Grand Total	54,061.00	0.00	42,467.16	11,593.84	0.7855
		_____	_____	_____	_____	_____

ASSETS

Cash In Bank	\$ 2,986,869.70
Investment Account	2,218,419.95
Accounts Receivable	148,215.77
Land and Buildings	16,198,934.85
Infrastructure	874,866.98
Equipment	14,655.00
Deferred Outflows - Pension	167,046.24
Deferred Outflows - OPEB	32,792.00
Accumulated Depreciation	<u>(9,995,808.30)</u>
Total Assets	<u>\$ 12,645,992.19</u>

LIABILITIES

Accounts Payable	149,869.72
Payroll Liabilities	273,329.55
Security Deposits	183,149.16
Net Pension Liability	332,901.96
OPEB Liability	12,045.00
Compensated Absences	61,267.30
Deferred Inflows - Pension	21,560.48
Deferred Inflows - OPEB	<u>15,839.00</u>
Total Liabilities	<u>1,049,962.17</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	10,894,103.15
Change in Fund Balance for the twelve months ending June 30, 2024	<u>701,926.87</u>
Ending Fund Balance, June 30, 2024	<u>11,596,030.02</u>
Total Liabilities and Net Position	<u>\$ 12,645,992.19</u>

General Ledger
Expenses vs Budget



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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
300	Green Acres Enterprise Fund					
300-10-50100-05	Salaries and Wages	207,932.00	8,360.16	207,764.30	167.70	0.08
300-10-50100-10	Benefits	36,888.00	1,405.06	33,212.62	3,675.38	9.96
300-10-50100-15	PERS Contributions	17,197.00	712.66	17,555.66	-358.66	-2.09
300-10-50100-20	Medicare Tax	3,510.00	139.92	3,435.68	74.32	2.12
300-10-50100-30	Workers Compensation Ins.	15,142.00	0.00	282.84	14,859.16	98.13
300-10-50100-99	Unfunded Accrued Liab(UAL)	14,701.00	0.00	0.00	14,701.00	100.00
300-10-50150-06	PeriodicalsMemberships	2,500.00	0.00	1,144.10	1,355.90	54.24
300-10-50150-08	EducationTraining	500.00	0.00	0.00	500.00	100.00
300-10-50150-16	Office Supplies	2,500.00	331.21	2,429.79	70.21	2.81
300-10-50150-18	Telephone Internet Service	1,000.00	50.58	516.30	483.70	48.37
300-10-50150-20	Mobile PhonesPagers	1,300.00	0.00	992.99	307.01	23.62
300-10-50150-24	Postage	100.00	0.00	0.00	100.00	100.00
300-10-50150-26	Liability Insurance - PERMA	30,000.00	0.00	22,982.44	7,017.56	23.39
300-10-50150-42	Bank Fees	4,000.00	0.00	2,778.56	1,221.44	30.54
300-10-50150-44	TenantRelations	1,000.00	0.00	0.00	1,000.00	100.00
300-10-50150-47	Office Rent	9,000.00	756.00	9,338.08	-338.08	-3.76
300-10-50150-48	Office Utilities	2,000.00	98.15	940.74	1,059.26	52.96
300-10-50150-50	Depreciation Expense	301,617.00	0.00	0.00	301,617.00	100.00
300-10-50200-02	General Legal Services	500.00	0.00	0.00	500.00	100.00
300-10-50200-15	Credit Check Services	1,000.00	0.00	213.50	786.50	78.65
300-10-50300-02	Office Equipment	500.00	0.00	0.00	500.00	100.00
300-10-50300-06	Computer Software	8,000.00	1,525.85	3,573.93	4,426.07	55.33
300-10-50300-10	Appliance Purchase	22,000.00	3,750.00	9,977.18	12,022.82	54.65
300-10-50300-15	Security Entrance Gates	8,000.00	3,475.48	8,643.62	-643.62	-8.05
300-10-50300-25	Vehicle Purchase	60,000.00	44,859.25	44,859.25	15,140.75	25.23
300-10-50900-00	Transfer to Other Funds	100,000.00	0.00	0.00	100,000.00	100.00
300-20-51150-00	Property Insurance - PERMA	248,000.00	0.00	152,398.00	95,602.00	38.55
300-20-51160-00	Property Taxes	40,000.00	0.00	71,428.80	-31,428.80	-78.57
300-20-51200-00	Building Maintenance	150,000.00	9,343.21	74,139.10	75,860.90	50.57
300-20-51250-00	Grounds Maintenance	250,000.00	42,487.11	224,447.89	25,552.11	10.22
300-20-51300-00	Equipment Maintenance	65,000.00	10,914.05	55,910.39	9,089.61	13.98
300-20-51350-00	Utilities	525,000.00	157,758.29	591,092.30	-66,092.30	-12.59
300-20-51360-00	Bad Debt Expense	2,500.00	0.00	0.00	2,500.00	100.00
Expense Total		2,131,387.00	285,966.98	1,540,058.06	591,328.94	27.7439
Grand Total		2,131,387.00	285,966.98	1,540,058.06	591,328.94	0.2774

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
		_____	_____	_____	_____	_____
		_____	_____	_____	_____	_____

General Ledger
Revenue vs Budget

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Period 12 - 12
Fiscal Year 2024



March Joint Powers Authority
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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
300	Green Acres Enterprise Fund					
300-00-40200-00	RENTAL INCOME	-2,000,000.00	-161,288.50	-2,097,280.00	97,280.00	104.86
300-00-40225-00	UTILITY CHARGES	-65,000.00	-4,753.41	-61,825.91	-3,174.09	95.12
300-00-40250-00	LATE FEES & NSF FEES	-1,100.00	-163.34	-1,041.40	-58.60	94.67
300-00-40300-00	CREDIT CHECK FEES	-1,000.00	0.00	-280.00	-720.00	28.00
300-00-40600-00	INTEREST INCOME	-30,000.00	0.00	-42,367.12	12,367.12	141.22
300-00-40675-00	HOLDING FEES FORFEITURE	-120.00	0.00	0.00	-120.00	0.00
300-00-40750-00	MISCELLANEOUS	-500.00	-50.00	-375.00	-125.00	75.00
300-00-40799-00	GAINLOSS ON FV OF INVESTMENTS	0.00	0.00	-49,433.88	49,433.88	0.00
Revenue Total		2,097,720.00	166,255.25	2,252,603.31	-154,883.31	107.3834
Grand Total		<u>2,097,720.00</u>	<u>166,255.25</u>	<u>2,252,603.31</u>	<u>-154,883.31</u>	<u>1.0738</u>

ASSETS

Cash In Bank	<u>\$ 261,163.75</u>
Total Assets	<u>\$ 261,163.75</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	270,663.75
Change in Fund Balance for the twelve months ending June 30, 2024	<u>(9,500.00)</u>
Ending Fund Balance, June 30, 2024	<u>261,163.75</u>
Total Liabilities and Net Position	<u>\$ 261,163.75</u>

General Ledger
Expenses vs Budget

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Fiscal Year 2024



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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
301	Green Acres Repairs & Maint.					
301-20-51200-02	Roof Repairs	27,000.00	3,725.00	9,500.00	17,500.00	64.81
301-20-51200-03	Unit Improvements	55,000.00	0.00	0.00	55,000.00	100.00
Expense Total		82,000.00	3,725.00	9,500.00	72,500.00	88.4146
Grand Total		82,000.00	3,725.00	9,500.00	72,500.00	0.8841

General Ledger
Revenue vs Budget

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Fiscal Year 2024



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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
301	Green Acres Repairs & Maint.					
301-00-48025-00	5% Rental Income Set-Aside	-100,000.00	0.00	0.00	-100,000.00	0.00
	Revenue Total	100,000.00	0.00	0.00	100,000.00	0
	Grand Total	100,000.00	0.00	0.00	100,000.00	0
		_____	_____	_____	_____	_____

ASSETS

Cash In Bank	\$ 715,652.56
Accounts Receivable	<u>15,050.25</u>
Total Assets	<u>\$ 730,702.81</u>

LIABILITIES

Accounts Payable	15,050.25
Due to Other Funds	<u>500,000.00</u>
Total Liabilities	<u>515,050.25</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	2,451,889.94
Change in Fund Balance for the twelve months ending June 30, 2024	<u>(2,236,237.38)</u>
Ending Fund Balance, June 30, 2024	<u>215,652.56</u>
Total Liabilities and Net Position	<u>\$ 730,702.81</u>

General Ledger
Expenses vs Budget

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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
750	Successor Agency RORF					
750-10-50150-07	Staff Costs	0.00	0.00	500,000.00	-500,000.00	0.00
750-10-50200-25	Consulting Services	0.00	0.00	7,500.50	-7,500.50	0.00
750-10-50900-00	Transfer Out	0.00	0.00	1,728,736.88	-1,728,736.88	0.00
Expense Total		0.00	0.00	2,236,237.38	-2,236,237.38	0
Grand Total		<u>0.00</u>	<u>0.00</u>	<u>2,236,237.38</u>	<u>-2,236,237.38</u>	<u>0</u>

ASSETS

Cash In Bank	\$ 1,438.76
Deferred Charge on Refunding	6,591,876.33
Prepaid Bond Insurance	<u>222,567.50</u>
Total Assets	<u>\$ 6,815,882.59</u>

LIABILITIES

Loans Payable	81,180.24
Interest Payable	464,060.00
Bonds Payable - Series 2016A	27,625,000.00
Bonds Premium - Series 2016A	3,146,495.00
Due to Other Funds	<u>100,000.00</u>
Total Liabilities	<u>31,416,735.24</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	(24,731,857.65)
Change in Fund Balance for the twelve months ending June 30, 2024	<u>131,005.00</u>
Ending Fund Balance, June 30, 2024	<u>(24,600,852.65)</u>
Total Liabilities and Net Position	<u>\$ 6,815,882.59</u>

General Ledger
Expenses vs Budget

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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
740	SUCCESSOR AGENCY D.S.					
740-70-50150-00	Administrative Costs	0.00	0.00	0.00	0.00	0.00
740-70-50200-01	Trustee Fees	0.00	0.00	5,000.00	-5,000.00	0.00
740-70-60611-00	Payment on Bond 2016A	0.00	0.00	1,551,871.88	-1,551,871.88	0.00
740-70-60625-00	Other Long Term Debt Principal	0.00	0.00	41,278.00	-41,278.00	0.00
Expense Total		0.00	0.00	1,598,149.88	-1,598,149.88	0
Grand Total		0.00	0.00	1,598,149.88	-1,598,149.88	0

General Ledger
Revenue vs Budget

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March Joint Powers Authority
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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
740	SUCCESSOR AGENCY D.S.					
740-00-40600-00	Interest Income	0.00	0.00	-418.00	418.00	0.00
740-00-40700-00	Operating Transfers In	0.00	0.00	-1,728,736.88	1,728,736.88	0.00
	Revenue Total	0.00	0.00	1,729,154.88	-1,729,154.88	0
	Grand Total	0.00	0.00	1,729,154.88	-1,729,154.88	0
		—	—	—	—	—

ASSETS

Cash In Bank	\$ 6,138,929.78
Petty Cash	300.00
Investment Account	4,879,378.34
Meridian Drainage Fee Acct	2,513,630.67
CalPERS Benefit Trust	12,067,581.40
County Fire Facilities Fund	1,861,056.71
Accounts Receivable	927,688.55
Accounts Receivable - Leases	1,349,157.70
Loans Receivable	2,013,926.60
MIP Loan Receivable	2,687,896.35
RDA Loan Receivable	81,180.24
MJPUA Loan Receivable	450,000.00
Due From Other Funds	100,000.00
Interest Receivable	1,672,366.67
Insurance Deposits	1,283.00

Total Assets \$ 36,744,376.01

LIABILITIES

Accounts Payable	118,359.09
Deposits in Trust	327,435.62
County Fire Facility	1,824,540.34
Meridian Drainage Fees	1,964,224.57
Lifecare Campus Drainage Fees	82,243.53
Meridian–St. F Sgnl Fair Share	637,826.15
MARB Heacock Project Funds	666.72
Deferred Inflows - Leases	1,349,157.70

Total Liabilities 6,304,453.72

FUND BALANCE

Fund Balance, Beginning of Fiscal Year	30,546,971.52
Change in Fund Balance for the month ending July 31, 2024	<u>(107,049.23)</u>
Ending Fund Balance, July 31, 2024	<u>30,439,922.29</u>

Total Liabilities and Fund Balance \$ 36,744,376.01

General Ledger
Expenses vs Budget



March Joint Powers Authority
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Fiscal Year 2025

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
100	General Fund					
100-10-50100-05	Salaries and Wages	935,519.00	0.00	0.00	935,519.00	100.00
100-10-50100-10	Benefits	129,993.00	1,877.29	1,877.29	128,115.71	98.56
100-10-50100-15	PERS Contributions	125,821.00	795.60	795.60	125,025.40	99.37
100-10-50100-20	Medicare Tax	15,100.00	0.00	0.00	15,100.00	100.00
100-10-50100-25	Unemployment	2,000.00	0.00	0.00	2,000.00	100.00
100-10-50100-30	Workers Compensation Ins.	22,365.00	1,071.45	1,071.45	21,293.55	95.21
100-10-50100-32	Temporary Office Help	24,600.00	2,366.79	2,366.79	22,233.21	90.38
100-10-50100-35	Employee Recruitment	1,000.00	0.00	0.00	1,000.00	100.00
100-10-50100-99	Unfunded Accrued Liab(UAL)	167,402.00	17,875.84	17,875.84	149,526.16	89.32
100-10-50150-02	Mileage Reimbursement	1,000.00	0.00	0.00	1,000.00	100.00
100-10-50150-04	Payroll Services	7,500.00	0.00	0.00	7,500.00	100.00
100-10-50150-06	PeriodicalsMemberships	15,000.00	0.00	0.00	15,000.00	100.00
100-10-50150-08	EducationTraining	12,500.00	0.00	0.00	12,500.00	100.00
100-10-50150-12	Travel	50,000.00	395.00	395.00	49,605.00	99.21
100-10-50150-14	JPC Members' Stipend	17,300.00	0.00	0.00	17,300.00	100.00
100-10-50150-15	Meeting Expenses	13,000.00	0.00	0.00	13,000.00	100.00
100-10-50150-16	Office Supplies	15,000.00	21.75	21.75	14,978.25	99.86
100-10-50150-18	Telephone & Internet Expense	7,400.00	0.00	0.00	7,400.00	100.00
100-10-50150-20	Mobile Phones	12,000.00	0.00	0.00	12,000.00	100.00
100-10-50150-24	Postage	3,750.00	0.00	0.00	3,750.00	100.00
100-10-50150-26	Liability Insurance - PERMA	184,000.00	0.00	0.00	184,000.00	100.00
100-10-50150-30	Printing - Outside	3,500.00	74.77	74.77	3,425.23	97.86
100-10-50150-32	Equipment Leases	38,000.00	0.00	0.00	38,000.00	100.00
100-10-50150-34	Equipment Maintenance	60,000.00	3,338.45	3,338.45	56,661.55	94.44
100-10-50150-35	Vehicle Fuel & Maintenance	4,100.00	0.00	0.00	4,100.00	100.00
100-10-50150-38	ProductionArtwork	25,000.00	1,500.00	1,500.00	23,500.00	94.00
100-10-50150-40	Promotional Activities	50,000.00	0.00	0.00	50,000.00	100.00
100-10-50150-42	Bank Fees	37,000.00	0.00	0.00	37,000.00	100.00
100-10-50150-46	Office Custodial	7,000.00	0.00	0.00	7,000.00	100.00
100-10-50150-47	Office Rent	75,600.00	6,048.13	6,048.13	69,551.87	92.00
100-10-50150-48	Office Utilities	14,070.00	785.28	785.28	13,284.72	94.42
100-10-50200-02	General Legal Services	200,000.00	0.00	0.00	200,000.00	100.00
100-10-50200-04	Special Legal Services	45,000.00	0.00	0.00	45,000.00	100.00
100-10-50200-10	Legal Property Surveys	10,000.00	0.00	0.00	10,000.00	100.00
100-10-50200-14	Annual Audit	40,000.00	0.00	0.00	40,000.00	100.00
100-10-50200-20	D.C. and State Lobbyist	130,000.00	0.00	0.00	130,000.00	100.00

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
100-10-50200-25	General Consulting Services	455,000.00	0.00	0.00	455,000.00	100.00
100-10-50200-40	Foreign Trade Zone	8,000.00	0.00	0.00	8,000.00	100.00
100-10-50300-02	Equipment Office Furniture	10,000.00	0.00	0.00	10,000.00	100.00
100-10-50300-04	Computer Hardware	10,000.00	0.00	0.00	10,000.00	100.00
100-10-50300-06	Computer Software	25,000.00	0.00	0.00	25,000.00	100.00
100-20-51150-00	Property Insurance - PERMA	55,200.00	0.00	0.00	55,200.00	100.00
100-20-51200-00	Building Maintenance	40,000.00	600.00	600.00	39,400.00	98.50
100-20-51250-00	Grounds Maintenance	75,000.00	0.00	0.00	75,000.00	100.00
100-20-51255-00	Street & Lighting Maintenan	15,000.00	0.00	0.00	15,000.00	100.00
100-20-51325-00	Equipment Purchases	0.00	-762.00	-762.00	762.00	0.00
100-20-51335-00	Demolition Costs	500,000.00	0.00	0.00	500,000.00	100.00
100-20-51350-00	Utilities	10,000.00	0.00	0.00	10,000.00	100.00
100-20-51355-00	Fuel Costs	2,500.00	0.00	0.00	2,500.00	100.00
100-20-51360-00	Police Patrols	200,000.00	0.00	0.00	200,000.00	100.00
100-20-51365-00	Security	120,000.00	0.00	0.00	120,000.00	100.00
100-20-51400-00	Bad Debt Expense	3,500.00	0.00	0.00	3,500.00	100.00
100-30-52200-00	Plan Check Inspection Fees	852,000.00	0.00	0.00	852,000.00	100.00
100-30-52220-00	Education Training	2,500.00	0.00	0.00	2,500.00	100.00
100-30-52250-00	Environmental Fees	45,000.00	0.00	0.00	45,000.00	100.00
100-30-52300-00	Printing Costs	5,000.00	0.00	0.00	5,000.00	100.00
100-30-52325-00	Planning Software	25,500.00	0.00	0.00	25,500.00	100.00
100-30-52350-00	Public Notices Filings	3,000.00	0.00	0.00	3,000.00	100.00
100-30-52400-00	Enviromental Rev & Consult	2,500.00	0.00	0.00	2,500.00	100.00
100-40-50300-00	Gas Utility Infrastructure	1,000,000.00	0.00	0.00	1,000,000.00	100.00
Expense Total		5,966,220.00	35,988.35	35,988.35	5,930,231.65	99.3968
Grand Total		<u>5,966,220.00</u>	<u>35,988.35</u>	<u>35,988.35</u>	<u>5,930,231.65</u>	<u>0.994</u>

General Ledger
Revenue vs Budget

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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
100	General Fund					
100-00-40100-00	LEASE REVENUE	-150,000.00	-12,307.81	-12,307.81	-137,692.19	8.21
100-00-40300-00	PLANNING FEES	-1,035,000.00	0.00	0.00	-1,035,000.00	0.00
100-00-40400-00	BUILDING PERMIT FEES	-800,000.00	-2,313.08	-2,313.08	-797,686.92	0.29
100-00-40430-00	PUBLIC WORKS FEES	-400,000.00	-1,250.00	-1,250.00	-398,750.00	0.31
100-00-40600-00	INTEREST INCOME	-659,400.00	0.00	0.00	-659,400.00	0.00
100-00-40655-00	FOREIGN TRADE ZONE	-71,000.00	-7,000.00	-7,000.00	-64,000.00	9.86
100-00-40675-00	TRAINING & FILMING FEES	-1,100.00	0.00	0.00	-1,100.00	0.00
100-00-40750-00	MISCELLANEOUS REVENUE	-10,000.00	0.00	0.00	-10,000.00	0.00
100-00-40800-00	SUCCESSOR AGENCY FEES	-250,000.00	0.00	0.00	-250,000.00	0.00
	Revenue Total	3,376,500.00	22,870.89	22,870.89	3,353,629.11	0.6774
	Grand Total	3,376,500.00	22,870.89	22,870.89	3,353,629.11	0.0068

ASSETS

Cash In Bank	\$ 3,757,904.08
Accounts Receivable	<u>25,491.22</u>
Total Assets	<u>\$ 3,783,395.30</u>

LIABILITIES

Accounts Payable	51,377.10
LLMD #1 Modification Deposit	6,930.80
Damage Repair Deposits	<u>7,193.17</u>
Total Liabilities	<u>65,501.07</u>

FUND BALANCE

Fund Balance, Beginning of Fiscal Year	3,740,808.12
Change in Fund Balance for the month ending July 31, 2024	<u>(22,913.89)</u>
Ending Fund Balance, July 31, 2024	<u>3,717,894.23</u>
Total Liabilities and Fund Balance	<u>\$ 3,783,395.30</u>

General Ledger
Expenses vs Budget



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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
120	Meridian LLMD No. 1					
120-40-65005-00	Traffic Signals	30,567.00	690.02	690.02	29,876.98	97.74
120-40-65010-00	Signage	357.00	0.00	0.00	357.00	100.00
120-40-65015-00	Lighting	83,040.00	0.00	0.00	83,040.00	100.00
120-40-65020-00	Landscaping	1,018,900.00	17,638.36	17,638.36	1,001,261.64	98.27
120-40-65025-00	Drainage	157,362.00	0.00	0.00	157,362.00	100.00
120-40-65030-00	Street Sweeping	60,756.00	0.00	0.00	60,756.00	100.00
120-40-65035-00	Graffiti Removal	4,500.00	0.00	0.00	4,500.00	100.00
120-40-65118-05	Salaries and Wages	74,456.00	0.00	0.00	74,456.00	100.00
120-40-65118-10	Benefits	11,495.00	0.00	0.00	11,495.00	100.00
120-40-65118-15	PERS Contributions	9,996.00	0.00	0.00	9,996.00	100.00
120-40-65118-20	Medicare Tax	1,247.00	0.00	0.00	1,247.00	100.00
120-40-65118-30	Workers Compensation Ins.	5,400.00	0.00	0.00	5,400.00	100.00
120-40-65118-99	Unfunded Accrued Liab(UAL)	35,951.00	0.00	0.00	35,951.00	100.00
120-40-65120-00	Operations	20,980.00	585.98	585.98	20,394.02	97.21
120-40-65125-00	TransportationCommunication	10,393.00	19.66	19.66	10,373.34	99.81
120-40-65130-00	Liability Insurance - PERMA	16,560.00	0.00	0.00	16,560.00	100.00
120-40-65135-00	Assessment Engineer	11,000.00	0.00	0.00	11,000.00	100.00
120-40-65140-00	Professional Services	92,720.00	0.00	0.00	92,720.00	100.00
120-40-65145-00	Publication	245.00	0.00	0.00	245.00	100.00
120-40-65500-01	Meridian Pkwy-Sidewalk Repairs	103,000.00	0.00	0.00	103,000.00	100.00
120-40-65500-05	Tree Replacement	263,000.00	0.00	0.00	263,000.00	100.00
120-40-65500-10	Van Buren Pavement Repairs	20,000.00	0.00	0.00	20,000.00	100.00
120-40-65500-15	Park Improvements	235,000.00	0.00	0.00	235,000.00	100.00
120-40-65500-20	Vehicle Purchase	46,876.00	-1,649.75	-1,649.75	48,525.75	103.52
Expense Total		2,313,801.00	17,284.27	17,284.27	2,296,516.73	99.253
Grand Total		2,313,801.00	17,284.27	17,284.27	2,296,516.73	0.9925

General Ledger
Revenue vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
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Period 01 - 01
Fiscal Year 2025

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
120	Meridian LLMD No. 1					
120-00-40260-00	Assessments	-2,488,697.00	0.00	0.00	-2,488,697.00	0.00
	Revenue Total	2,488,697.00	0.00	0.00	2,488,697.00	0
	Grand Total	2,488,697.00	0.00	0.00	2,488,697.00	0
		_____	_____	_____	_____	_____

ASSETS

Cash In Bank	\$	156,576.66
Accounts Receivable		<u>347.75</u>
Total Assets	\$	<u><u>156,924.41</u></u>

LIABILITIES

Accounts Payable		24.68
Payroll Liabilities		<u>21,467.28</u>
Total Liabilities		<u>21,491.96</u>

FUND BALANCE

Fund Balance, Beginning of Fiscal Year		137,437.11
Change in Fund Balance for the month ending July 31, 2024		<u>(2,004.66)</u>
Ending Fund Balance, July 31, 2024		<u>135,432.45</u>
Total Liabilities and Fund Balance	\$	<u><u>156,924.41</u></u>

General Ledger Revenue vs Budget

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 Period 01 - 01
 Fiscal Year 2025



March Joint Powers Authority
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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
140	March Lifecare Campus CFD 2013					
140-00-40260-00	Taxes	-62,000.00	0.00	0.00	-62,000.00	0.00
	Revenue Total	62,000.00	0.00	0.00	62,000.00	0
	Grand Total	62,000.00	0.00	0.00	62,000.00	0
		_____	_____	_____	_____	_____

General Ledger
Expenses vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
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Period 01 - 01
Fiscal Year 2025

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
140	March Lifecare Campus CFD 2013					
140-40-65005-00	Traffic Signals	3,150.00	0.00	0.00	3,150.00	100.00
140-40-65015-00	Lighting	10,500.00	98.70	98.70	10,401.30	99.06
140-40-65020-00	Landscaping	15,300.00	0.00	0.00	15,300.00	100.00
140-40-65030-00	Street Sweeping	6,000.00	0.00	0.00	6,000.00	100.00
140-40-65035-00	Graffiti Removal	750.00	0.00	0.00	750.00	100.00
140-40-65040-00	Weed Abatement	26,000.00	0.00	0.00	26,000.00	100.00
140-40-65118-05	Salaries and Wages	22,511.00	0.00	0.00	22,511.00	100.00
140-40-65118-10	Benefits	3,631.00	0.00	0.00	3,631.00	100.00
140-40-65118-15	PERS Contributions	3,015.00	0.00	0.00	3,015.00	100.00
140-40-65118-20	Medicare Tax	379.00	0.00	0.00	379.00	100.00
140-40-65118-30	Workers Compensation Ins.	4,200.00	0.00	0.00	4,200.00	100.00
140-40-65130-00	Liability Insurance - PERMA	5,750.00	0.00	0.00	5,750.00	100.00
140-40-65135-00	Assessment Engineer	5,000.00	0.00	0.00	5,000.00	100.00
	Expense Total	106,186.00	98.70	98.70	106,087.30	99.907
	Grand Total	106,186.00	98.70	98.70	106,087.30	0.9991

ASSETS

Cash In Bank	\$ 2,990,144.54
Investment Account	2,218,419.95
Accounts Receivable	141,217.14
Land and Buildings	16,198,934.85
Infrastructure	874,866.98
Equipment	14,655.00
Deferred Outflows - Pension	167,046.24
Deferred Outflows - OPEB	32,792.00
Accumulated Depreciation	<u>(9,995,808.30)</u>
Total Assets	<u>\$ 12,642,268.40</u>

LIABILITIES

Accounts Payable	3,355.97
Payroll Liabilities	295,965.13
Security Deposits	183,149.16
Net Pension Liability	332,901.96
OPEB Liability	12,045.00
Compensated Absences	61,267.30
Deferred Inflows - Pension	21,560.48
Deferred Inflows - OPEB	<u>15,839.00</u>
Total Liabilities	<u>926,084.00</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	11,596,030.02
Change in Fund Balance for the month ending July 31, 2024	<u>120,154.38</u>
Ending Fund Balance, July 31, 2024	<u>11,716,184.40</u>
Total Liabilities and Net Position	<u>\$ 12,642,268.40</u>

General Ledger
Expenses vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
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Fiscal Year 2025

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
300	Green Acres Enterprise Fund					
300-10-50100-05	Salaries and Wages	234,200.00	0.00	0.00	234,200.00	100.00
300-10-50100-10	Benefits	40,562.00	0.00	0.00	40,562.00	100.00
300-10-50100-15	PERS Contributions	20,657.00	0.00	0.00	20,657.00	100.00
300-10-50100-20	Medicare Tax	3,985.00	0.00	0.00	3,985.00	100.00
300-10-50100-30	Workers Compensation Ins.	17,100.00	0.00	0.00	17,100.00	100.00
300-10-50100-99	Unfunded Accrued Liab(UAL)	28,551.00	0.00	0.00	28,551.00	100.00
300-10-50150-06	PeriodicalsMemberships	2,500.00	0.00	0.00	2,500.00	100.00
300-10-50150-08	EducationTraining	500.00	0.00	0.00	500.00	100.00
300-10-50150-16	Office Supplies	2,500.00	0.00	0.00	2,500.00	100.00
300-10-50150-18	Telephone Internet Service	1,000.00	52.58	52.58	947.42	94.74
300-10-50150-20	Mobile PhonesPagers	1,300.00	0.00	0.00	1,300.00	100.00
300-10-50150-24	Postage	100.00	0.00	0.00	100.00	100.00
300-10-50150-26	Liability Insurance - PERMA	34,500.00	0.00	0.00	34,500.00	100.00
300-10-50150-42	Bank Fees	4,500.00	0.00	0.00	4,500.00	100.00
300-10-50150-44	TenantRelations	1,000.00	0.00	0.00	1,000.00	100.00
300-10-50150-47	Office Rent	9,500.00	756.00	756.00	8,744.00	92.04
300-10-50150-48	Office Utilities	2,100.00	98.15	98.15	2,001.85	95.33
300-10-50150-50	Depreciation Expense	310,700.00	0.00	0.00	310,700.00	100.00
300-10-50200-02	General Legal Services	500.00	0.00	0.00	500.00	100.00
300-10-50200-15	Credit Check Services	1,000.00	0.00	0.00	1,000.00	100.00
300-10-50300-02	Office Equipment	500.00	0.00	0.00	500.00	100.00
300-10-50300-06	Computer Software	8,000.00	304.52	304.52	7,695.48	96.19
300-10-50300-10	Appliance Purchase	22,000.00	3,452.58	3,452.58	18,547.42	84.31
300-10-50300-15	Security Entrance Gates	8,000.00	0.00	0.00	8,000.00	100.00
300-10-50300-25	Vehicle Purchase	10,000.00	0.00	0.00	10,000.00	100.00
300-10-50900-00	Transfer to Other Funds	100,000.00	0.00	0.00	100,000.00	100.00
300-20-51150-00	Property Insurance - PERMA	285,200.00	0.00	0.00	285,200.00	100.00
300-20-51160-00	Property Taxes	40,000.00	0.00	0.00	40,000.00	100.00
300-20-51200-00	Building Maintenance	150,000.00	2,400.68	2,400.68	147,599.32	98.40
300-20-51250-00	Grounds Maintenance	250,000.00	13,960.00	13,960.00	236,040.00	94.42
300-20-51300-00	Equipment Maintenance	65,000.00	0.00	0.00	65,000.00	100.00
300-20-51350-00	Utilities	551,250.00	932.12	932.12	550,317.88	99.83
300-20-51365-00	Security	2,570.00	0.00	0.00	2,570.00	100.00
300-40-50300-00	Gas Utility Infrastructure	1,000,000.00	0.00	0.00	1,000,000.00	100.00
300-40-50310-00	Sidewalk & Landscaping Rehab	400,000.00	0.00	0.00	400,000.00	100.00

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
Expense Total		3,609,275.00	21,956.63	21,956.63	3,587,318.37	99.3917
Grand Total		<u>3,609,275.00</u>	<u>21,956.63</u>	<u>21,956.63</u>	<u>3,587,318.37</u>	<u>0.9939</u>
		_____	_____	_____	_____	_____

General Ledger
Revenue vs Budget

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Period 01 - 01
Fiscal Year 2025



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
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Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
300	Green Acres Enterprise Fund					
300-00-40200-00	RENTAL INCOME	-2,000,000.00	-159,940.00	-159,940.00	-1,840,060.00	8.00
300-00-40225-00	UTILITY CHARGES	-65,000.00	-4,706.59	-4,706.59	-60,293.41	7.24
300-00-40250-00	LATE FEES & NSF FEES	-1,100.00	0.00	0.00	-1,100.00	0.00
300-00-40300-00	CREDIT CHECK FEES	-1,000.00	0.00	0.00	-1,000.00	0.00
300-00-40600-00	INTEREST INCOME	-102,900.00	0.00	0.00	-102,900.00	0.00
300-00-40675-00	HOLDING FEES FORFEITURE	-120.00	0.00	0.00	-120.00	0.00
300-00-40750-00	MISCELLANEOUS	-500.00	-100.00	-100.00	-400.00	20.00
	Revenue Total	2,170,620.00	164,746.59	164,746.59	2,005,873.41	7.5898
	Grand Total	2,170,620.00	164,746.59	164,746.59	2,005,873.41	0.0759

ASSETS

Cash In Bank	\$ 256,913.75
Total Assets	<u>\$ 256,913.75</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	261,163.75
Change in Fund Balance for the month ending July 31, 2024	<u>(4,250.00)</u>
Ending Fund Balance, July 31, 2024	<u>256,913.75</u>
Total Liabilities and Net Position	<u>\$ 256,913.75</u>

General Ledger
Expenses vs Budget

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Period 01 - 01
Fiscal Year 2025



March Joint Powers Authority
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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
301	Green Acres Repairs & Maint.					
301-20-51200-02	Roof Repairs	27,000.00	4,250.00	4,250.00	22,750.00	84.26
301-20-51200-03	Unit Improvements	55,000.00	0.00	0.00	55,000.00	100.00
Expense Total		82,000.00	4,250.00	4,250.00	77,750.00	94.8171
Grand Total		82,000.00	4,250.00	4,250.00	77,750.00	0.9482

General Ledger
Revenue vs Budget

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Period 01 - 01
Fiscal Year 2025



March Joint Powers Authority
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(951) 656-7000
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<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
301	Green Acres Repairs & Maint.					
301-00-48025-00	5% Rental Income Set-Aside	-100,000.00	0.00	0.00	-100,000.00	0.00
	Revenue Total	100,000.00	0.00	0.00	100,000.00	0
	Grand Total	100,000.00	0.00	0.00	100,000.00	0
		_____	_____	_____	_____	_____

ASSETS

Cash In Bank	\$ 715,652.56
Accounts Receivable	<u>15,050.25</u>
Total Assets	<u>\$ 730,702.81</u>

LIABILITIES

Accounts Payable	15,050.25
Due to Other Funds	<u>500,000.00</u>
Total Liabilities	<u>515,050.25</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	215,652.56
Change in Fund Balance for the month ending July 31, 2024	<u>-</u>
Ending Fund Balance, July 31, 2024	<u>215,652.56</u>
Total Liabilities and Net Position	<u>\$ 730,702.81</u>

ASSETS

Cash In Bank	\$ 1,438.76
Deferred Charge on Refunding	6,591,876.33
Prepaid Bond Insurance	<u>222,567.50</u>
Total Assets	<u>\$ 6,815,882.59</u>

LIABILITIES

Loans Payable	81,180.24
Interest Payable	464,060.00
Bonds Payable - Series 2016A	27,625,000.00
Bonds Premium - Series 2016A	3,146,495.00
Due to Other Funds	<u>100,000.00</u>
Total Liabilities	<u>31,416,735.24</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	(24,600,852.65)
Change in Fund Balance for the month ending July 31, 2024	<u>-</u>
Ending Fund Balance, July 31, 2024	<u>(24,600,852.65)</u>
Total Liabilities and Net Position	<u>\$ 6,815,882.59</u>

**March Joint Powers Authority
Investment Quarterly Report
General Fund
June 30, 2024**

Type	Issuer	Coupon	CUSIP	Purchase Date	Maturity Date	Cost	Market Value
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 81,058.77	\$ 81,058.77
Fixed Income							
Corporate	APPLE INC	2.750%	037833DF4	11/20/2020	1/13/2025	\$ 204,079.14	\$ 197,232.00
	Total Corporate					\$ 204,079.14	\$ 197,232.00
US Government Agency	FEDERAL HOME LOAN BANK	0.750%	3130AJRE1	06/24/2020	6/24/2025	\$ 69,444.44	\$ 66,488.19
	FEDERAL HOME LOAN BANK	0.680%	3130AJSY6	07/15/2020	7/15/2025	\$ 49,437.32	\$ 47,740.00
	FEDERAL HOME LOAN BANK	0.700%	3130AKQX7	01/28/2021	1/28/2026	\$ 150,000.00	\$ 140,211.00
	FEDERAL HOME LOAN BANK	0.650%	3130AL5X8	02/24/2021	2/24/2026	\$ 100,000.00	\$ 93,105.00
	FEDERAL HOME LOAN BANK	0.780%	3130ALEK6	02/26/2021	2/26/2026	\$ 100,000.00	\$ 93,420.00
	FEDERAL HOME LOAN BANK	0.800%	3130ALPB4	03/30/2021	5/30/2025	\$ 150,000.00	\$ 144,070.50
	FEDERAL HOME LOAN BANK	0.500%	3130AMF23	05/26/2021	9/26/2024	\$ 49,874.57	\$ 49,390.50
	FEDERAL HOME LOAN BANK	1.000%	3130ANCF5	08/12/2021	5/12/2026	\$ 100,000.00	\$ 93,171.00
	FEDERAL HOME LOAN BANK	0.900%	3130ANJT8	08/26/2021	8/26/2026	\$ 219,835.00	\$ 202,444.00
	FEDERAL HOME LOAN BANK	1.020%	3130AP6M2	09/30/2021	9/30/2026	\$ 50,000.00	\$ 45,963.00
	FEDERAL HOME LOAN BANK	5.600%	3130AXG93	10/30/2023	10/30/2025	\$ 150,000.00	\$ 149,934.00
	FEDERAL HOME LOAN BANK	4.800%	3130AYPS9	01/30/2024	1/30/2026	\$ 200,000.00	\$ 198,840.00
	FEDERAL HOME LOAN BANK	5.000%	3130AYQZ2	02/01/2024	2/4/2026	\$ 200,000.00	\$ 199,466.00
	FEDERAL HOME LOAN BANK	5.050%	3130AYUB0	02/08/2024	11/7/2025	\$ 100,000.00	\$ 99,752.00
	FEDERAL HOME LOAN BANK	5.050%	3130AYWJ1	02/09/2024	2/6/2026	\$ 100,000.00	\$ 99,705.00
	FEDERAL HOME LOAN BANK	5.000%	3130B0RE1	04/05/2024	4/2/2027	\$ 300,000.00	\$ 299,736.00
	FEDERAL HOME LOAN BANK	4.900%	3130B0TE9	04/10/2024	4/10/2028	\$ 200,000.00	\$ 200,578.00
	FEDERAL HOME LOAN BANK	5.250%	3130B0YF0	04/22/2024	4/22/2026	\$ 150,000.00	\$ 150,186.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.700%	3134GVR26	06/25/2020	6/25/2025	\$ 263,884.81	\$ 262,666.25
	FEDERAL HOME LOAN MORTGAGE CORP	0.400%	3134GWVJ2	09/30/2020	9/30/2024	\$ 100,000.00	\$ 98,690.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.600%	3134GWVN3	09/30/2020	9/30/2025	\$ 200,000.00	\$ 189,182.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.625%	3134GXCR3	11/24/2020	11/24/2025	\$ 199,990.00	\$ 188,192.00
	FEDERAL HOME LOAN MORTGAGE CORP	5.200%	3134GYS A1	05/16/2023	5/16/2025	\$ 149,902.50	\$ 149,826.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.580%	3135G06A6	11/17/2020	10/20/2025	\$ 299,925.00	\$ 283,053.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.500%	3135G06M0	12/16/2020	12/16/2024	\$ 150,000.00	\$ 146,424.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.650%	3136G4G31	07/30/2021	7/30/2025	\$ 274,928.50	\$ 262,377.50
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.600%	3136G4J53	08/18/2020	8/18/2025	\$ 300,000.00	\$ 285,453.00
	TENN VALLEY AUTHORITY	2.875%	880591ER9	05/27/2020	9/15/2024	\$ 404,680.81	\$ 397,852.00
	Total US Government Agency					\$ 4,781,902.95	\$ 4,637,915.94
Total Fixed Income						\$ 4,985,982.09	\$ 4,835,147.94
Total Assets						\$ 5,067,040.86	\$ 4,916,206.71

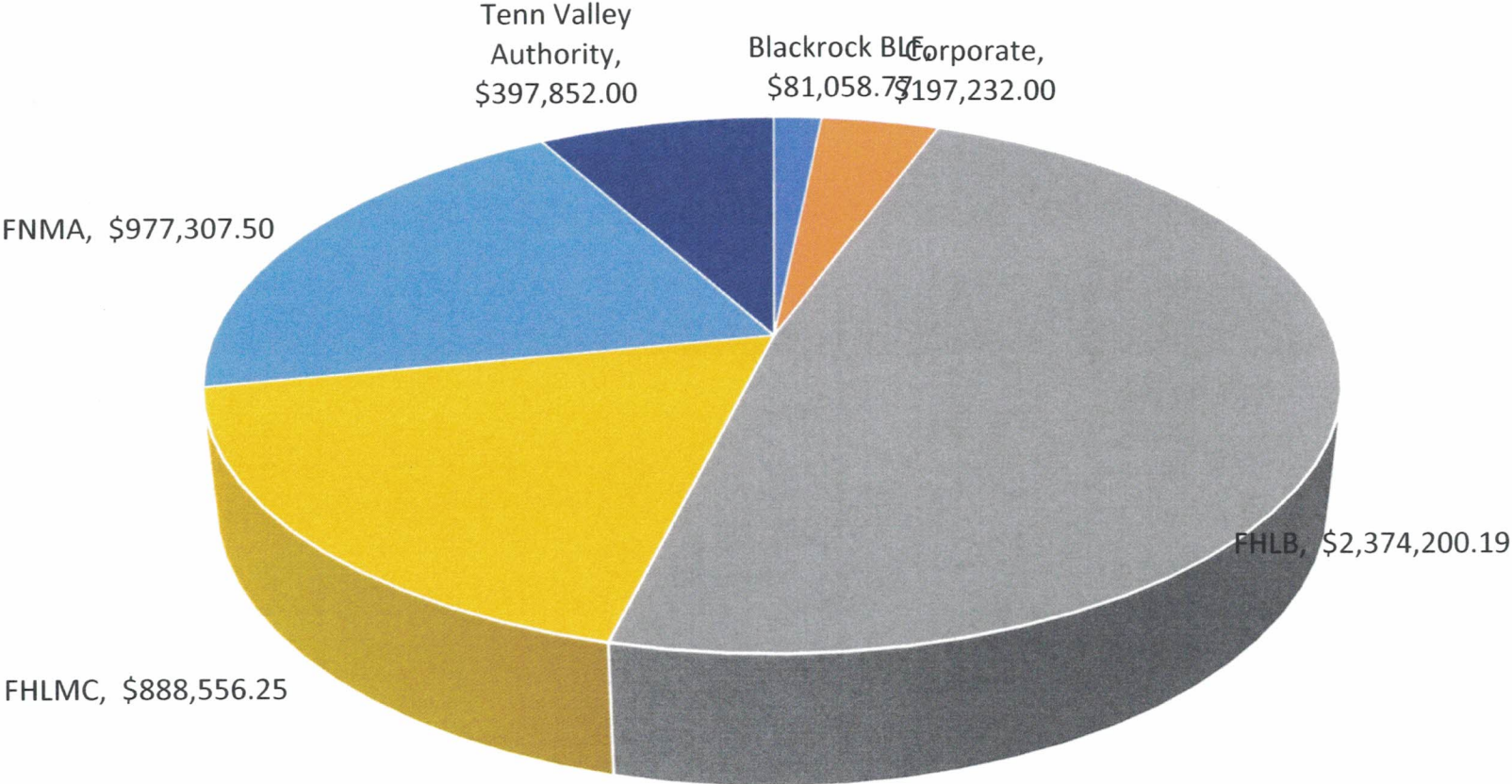
Investment Policy Assertions

- 1) Portfolio valuation provided by ICE Data Services
- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



Dr Grace Martin
Executive Director/Treasurer

March Joint Powers Authority
General Fund
June 30, 2024



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 06/01/2024 TO 06/30/2024
ACCOUNT 1035007008

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

* PORTFOLIO: SUMMARY GRAPHICAL DISPLAY WITH MARKET VALUE & PERCENT

* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

* PORTFOLIO STATEMENT: A LISTING OF COST AND MARKET VALUE OF ASSETS HELD IN THE PORTFOLIO

COST BASIS APPLICABLE FOR CALCULATING CAPITAL GAINS AND LOSSES.
MARKET VALUE IS THE CURRENT VALUE OF EACH ASSET FOR MOST STOCKS AND BONDS.
MARKETS ARE THE CLOSING PRICES ON THE LAST TRADING DAY OF THE PERIOD.

* TRANSACTION STATEMENT: A COMPLETE LISTING FOR THE PERIOD GROUPED BY TRANSACTION TYPE.

* DISCLOSURES: CITIZENS BUSINESS BANK MAY RECEIVE RESEARCH AND OTHER BENEFITS FROM BROKER DEALERS WHICH MAY BE CONSIDERED COMPENSATION TO US. UPON REQUEST WE WILL DISCLOSE DETAILS OF ANY COMPENSATION RECEIVED.

* TO TRUST BENEFICIARIES: UNDER SECTION 17200 OF CALIFORNIA PROBATE CODE, YOU MAY PETITION THE COURT TO OBTAIN A COURT REVIEW OF THE ACCOUNT AND THE ACTS OF THE TRUSTEE. CLAIMS AGAINST THE TRUSTEE FOR BREACH OF TRUST MUST BE MADE WITHIN THREE YEARS FROM THE DATE OF RECEIPT OF AN ACCOUNTING OR OTHER REPORT DISCLOSING FACTS GIVING RISE TO THE CLAIM.

**March Joint Powers Authority
Investment Quarterly Report
Green Acres Fund
June 30, 2024**

Type	Issuer	Coupon	CUSIP	Purchase Date	Maturity Date	Cost	Market Value
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 44,112.17	\$ 44,112.17
Fixed Income							
Corporate	APPLE INC	2.750%	037833DF4	11/20/2020	1/13/2025	\$ 102,039.57	\$ 98,616.00
	Total Corporate					\$ 102,039.57	\$ 98,616.00
US Government Agency							
	FEDERAL HOME LOAN BANK	0.750%	3130AJRE1	06/24/2020	6/24/2025	\$ 34,722.22	\$ 33,244.10
	FEDERAL HOME LOAN BANK	0.680%	3130AJSY6	07/15/2020	7/15/2025	\$ 49,437.32	\$ 47,740.00
	FEDERAL HOME LOAN BANK	0.700%	3130AKQX7	01/28/2021	1/28/2026	\$ 50,000.00	\$ 46,737.00
	FEDERAL HOME LOAN BANK	0.650%	3130ALSX8	02/24/2021	2/24/2026	\$ 50,000.00	\$ 46,552.50
	FEDERAL HOME LOAN BANK	0.780%	3130ALEK6	02/26/2021	2/26/2026	\$ 50,000.00	\$ 46,710.00
	FEDERAL HOME LOAN BANK	0.800%	3130ALPB4	03/30/2021	5/30/2025	\$ 50,000.00	\$ 48,023.50
	FEDERAL HOME LOAN BANK	0.500%	3130AMF23	05/26/2021	9/26/2024	\$ 49,874.57	\$ 49,390.50
	FEDERAL HOME LOAN BANK	1.000%	3130ANCF5	08/12/2021	5/12/2026	\$ 55,000.00	\$ 51,244.05
	FEDERAL HOME LOAN BANK	0.900%	3130ANJT8	08/26/2021	8/26/2026	\$ 149,887.50	\$ 138,030.00
	FEDERAL HOME LOAN BANK	1.020%	3130AP6M2	9/30/2021	9/30/2026	\$ 50,000.00	\$ 45,963.00
	FEDERAL HOME LOAN BANK	5.600%	3130AXG93	10/30/2023	10/30/2025	\$ 50,000.00	\$ 49,978.00
	FEDERAL HOME LOAN BANK	4.800%	3130AYPS9	01/30/2024	1/30/2026	\$ 100,000.00	\$ 99,420.00
	FEDERAL HOME LOAN BANK	5.000%	3130AYQZ2	02/01/2024	2/4/2026	\$ 100,000.00	\$ 99,733.00
	FEDERAL HOME LOAN BANK	5.050%	3130AYWJ1	02/09/2024	2/6/2026	\$ 50,000.00	\$ 49,852.50
	FEDERAL HOME LOAN BANK	5.000%	3130B0RE1	04/05/2024	4/2/2027	\$ 150,000.00	\$ 149,868.00
	FEDERAL HOME LOAN BANK	4.900%	3130B0TE9	04/10/2024	4/10/2028	\$ 100,000.00	\$ 100,289.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.700%	3134GVR26	06/25/2023	6/25/2025	\$ 95,958.11	\$ 95,515.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.400%	3134GWVJ2	09/30/2020	9/30/2024	\$ 100,000.00	\$ 98,690.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.600%	3134GWVN3	09/30/2020	9/30/2025	\$ 100,000.00	\$ 94,591.00
	FEDERAL HOME LOAN MORTGAGE CORP	0.625%	3134GXCR3	11/24/2020	11/24/2025	\$ 99,995.00	\$ 94,096.00
	FEDERAL HOME LOAN MORTGAGE CORP	5.200%	3134GYSA1	05/16/2023	5/16/2025	\$ 49,967.50	\$ 49,942.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.650%	3136G4G31	07/31/2020	7/30/2025	\$ 124,967.50	\$ 119,262.50
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.580%	3135G06A6	10/20/2020	10/20/2025	\$ 99,975.00	\$ 94,351.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.600%	3136G4J53	08/18/2020	8/18/2025	\$ 100,000.00	\$ 95,151.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	0.500%	3135G06M0	12/16/2020	12/16/2024	\$ 50,000.00	\$ 48,808.00
	TENN VALLEY AUTHORITY	2.875%	880591ER9	05/27/2020	9/15/2024	\$ 202,340.40	\$ 198,926.00
	Total US Government Agency					\$ 2,162,125.12	\$ 2,092,107.65
Total Fixed Income						\$ 2,264,164.69	\$ 2,190,723.65
Total Assets						\$ 2,308,276.86	\$ 2,234,835.82

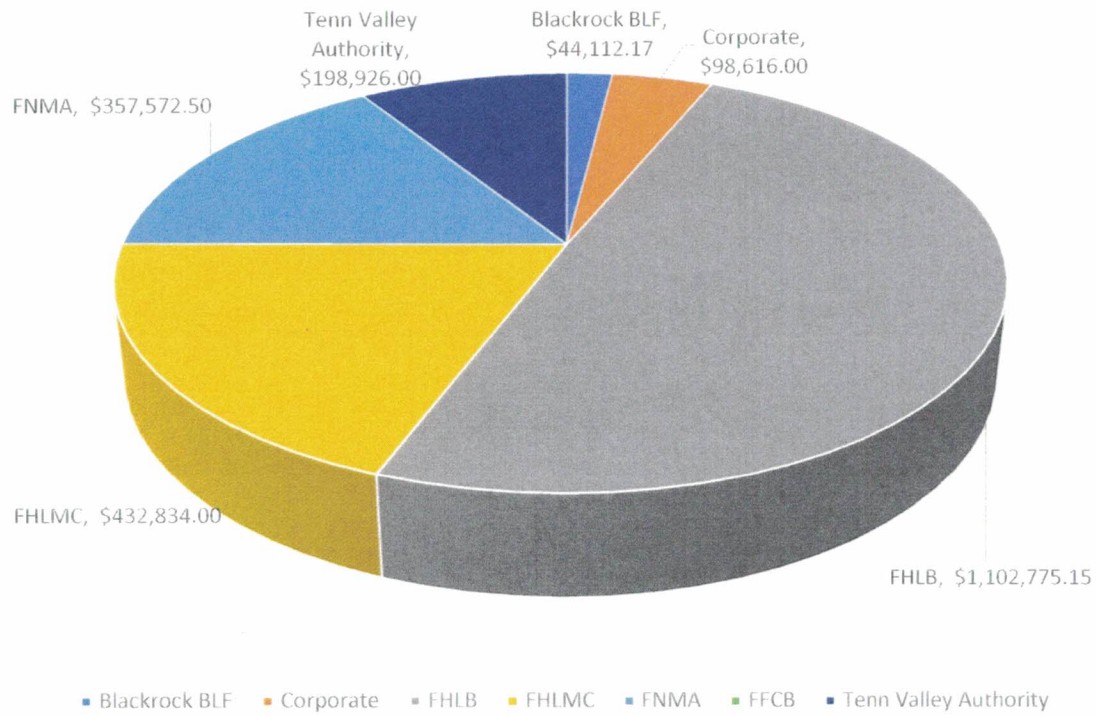
Investment Policy Assertions

- 1) Portfolio valuation provided by ICE Data Services
- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



Dr. Grace Martin
Executive Director/Treasurer

March Joint Powers Authority
Green Acres Fund
June 30, 2024



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 06/01/2024 TO 06/30/2024
ACCOUNT 1035007017

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

* PORTFOLIO: SUMMARY GRAPHICAL DISPLAY WITH MARKET VALUE & PERCENT

* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

* PORTFOLIO STATEMENT: A LISTING OF COST AND MARKET VALUE OF ASSETS HELD IN THE PORTFOLIO

COST BASIS APPLICABLE FOR CALCULATING CAPITAL GAINS AND LOSSES.
MARKET VALUE IS THE CURRENT VALUE OF EACH ASSET FOR MOST STOCKS AND BONDS.
MARKETS ARE THE CLOSING PRICES ON THE LAST TRADING DAY OF THE PERIOD.

* TRANSACTION STATEMENT: A COMPLETE LISTING FOR THE PERIOD GROUPED BY TRANSACTION TYPE.

* DISCLOSURES: CITIZENS BUSINESS BANK MAY RECEIVE RESEARCH AND OTHER BENEFITS FROM BROKER DEALERS WHICH MAY BE CONSIDERED COMPENSATION TO US. UPON REQUEST WE WILL DISCLOSE DETAILS OF ANY COMPENSATION RECEIVED.

* TO TRUST BENEFICIARIES: UNDER SECTION 17200 OF CALIFORNIA PROBATE CODE, YOU MAY PETITION THE COURT TO OBTAIN A COURT REVIEW OF THE ACCOUNT AND THE ACTS OF THE TRUSTEE. CLAIMS AGAINST THE TRUSTEE FOR BREACH OF TRUST MUST BE MADE WITHIN THREE YEARS FROM THE DATE OF RECEIPT OF AN ACCOUNTING OR OTHER REPORT DISCLOSING FACTS GIVING RISE TO THE CLAIM.

ACCOUNT NUMBER: 1035007017

JUNE 01, 2024 TO JUNE 30, 2024

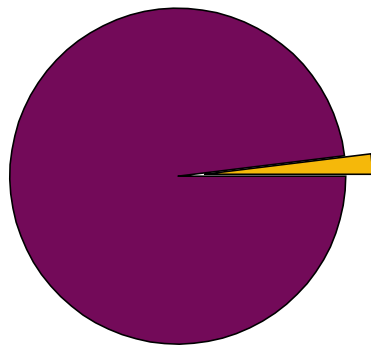
THAO LE

ACCOUNT NAME: MARCH JOINT POWERS AUTHORITY
 GREEN ACRES ENTERPRISE FUND
 CITIZENS BUSINESS BANK AS
 INVESTMENT MANAGEMENT AGENT

ACCOUNT NUMBER: 1035007017

RELATIONSHIP
 MANAGER: ADAM T COPPERSMITH
 909-483-4390
 atcoppersmith@cbbank.com

ASSET SUMMARY



	MARKET VALUE	PERCENT
CASH AND CASH EQUIVALENTS	44,112.17	2.0%
FIXED INCOME	2,190,723.65	98.0%
Total	2,234,835.82	100.0%

ACCOUNT VALUE CHANGE

	THIS PERIOD	YEAR TO DATE
BEGINNING MARKET VALUE	2,227,508.06	2,196,138.18
NET INTEREST INCOME	919.08	23,304.07
FEES	320.43-	1,878.14-
REALIZED GAIN/LOSS	0.00	11.25
CHANGE IN MARKET VALUE	6,729.11	17,260.46
ENDING MARKET VALUE	2,234,835.82	2,234,835.82

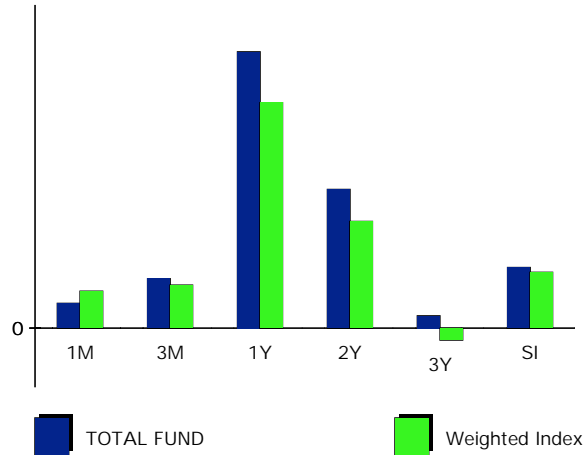
TRANSACTION SUMMARY

	CURRENT PERIOD			YEAR TO DATE		
	PRINCIPAL CASH	INCOME CASH	COST	PRINCIPAL CASH	INCOME CASH	COST
BEGINNING BALANCE	0.00	0.00	2,305,540.66	0.00	0.00	2,287,844.12
NET INTEREST INCOME	0.00	919.08	0.00	0.00	23,304.07	0.00
AMORT/ACCRETION	2,137.55-	2,137.55	2,137.55	1,004.44	1,004.44-	1,004.44-
FEES	320.43-	0.00	0.00	1,878.14-	0.00	0.00
SALES	0.00	0.00	0.00	535,000.00	0.00	534,988.75-
PURCHASES	0.00	0.00	0.00	549,967.50-	0.00	549,967.50
MISCELLANEOUS	2,457.98	3,056.63-	598.65	15,841.20	22,299.63-	6,458.43
ENDING BALANCE	0.00	0.00	2,308,276.86	0.00	0.00	2,308,276.86

PERFORMANCE SUMMARY - TOTAL RETURNS

	MARKET VALUE	1 MONTH	3 MONTHS	1 YEAR	2 YEARS	3 YEARS	SINCE INCEPTION 01/01/2016
TOTAL FUND	2,248,377	0.46	0.92	5.16	2.59	0.23	1.13
RETURN ON INDEXES Gov Bench 2		0.69	0.80	4.21	1.99	0.22-	1.04

RETURN COMPARISON

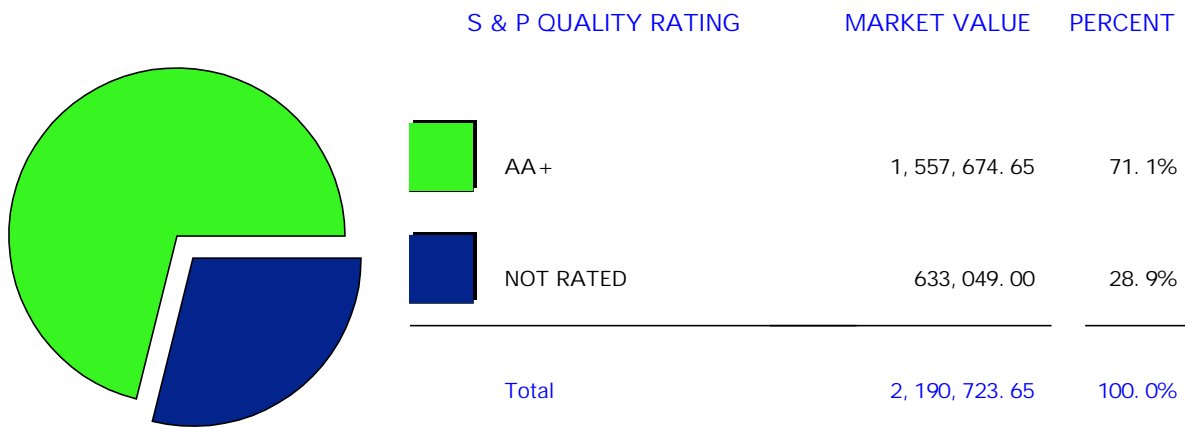


PAST RESULTS ARE NOT INDICATIVE OF FUTURE INVESTMENT RESULTS. FUND DATA IS ON TRADE DATE BASIS. PERFORMANCE RESULTS ARE GROSS OF MANAGEMENT FEES. RETURNS FOR PERIODS LONGER THAN ONE YEAR ARE ANNUALIZED. MARKET VALUE DOES NOT INCLUDE ACCRUED INCOME.

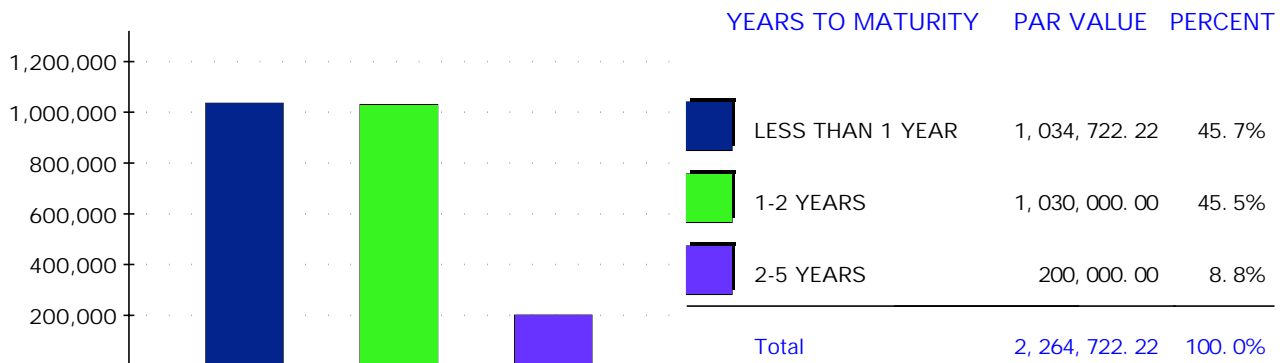
ASSET DETAIL

DESCRIPTION	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
CASH AND CASH EQUIVALENTS				
BLACKROCK BLF	44,112.17 1.00	44,112.17 0.00	2,302.66 191.89	5.22
TOTAL CASH AND CASH EQUIVALENTS	44,112.17	44,112.17 0.00	2,302.66 191.89	5.22

BOND QUALITY SUMMARY



BOND MATURITY SUMMARY



AVERAGE TIME TO MATURITY: 1.0 YEARS

CURRENT YIELD: 2.19%

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
CORPORATE						
APPLE INC 2.75% 01/13/2025	AA+	100,000.000	98,616.00 98.62	102,039.57 3,423.57-	2,750.00 1,283.33	2.79
TOTAL CORPORATE		SUB-TOTAL	98,616.00	102,039.57 3,423.57-	2,750.00 1,283.33	2.79
US GOVERNMENT AGENCY						
TENN VALLEY AUTHORITY DTD 09/29/14 2.875% 09/15/2024	AA+	200,000.000	198,926.00 99.46	202,340.40 3,414.40-	5,750.00 1,693.06	2.89
FEDERAL HOME LOAN BANK DTD 5/26/2021 CALL .5% 09/26/2024-2022	AA+	50,000.000	49,390.50 98.78	49,874.57 484.07-	250.00 24.31	0.51
FREDDIE MAC DTD 9/30/2020 CALL .4% 09/30/2024-2021		100,000.000	98,690.00 98.69	100,000.00 1,310.00-	400.00 101.11	0.41
FANNIE MAE DTD 12/16/2020 CALL .5% 12/16/2024-2021	AA+	50,000.000	48,808.00 97.62	50,000.00 1,192.00-	250.00 10.42	0.51
FREDDIE MAC DTD 05/16/2023 CALL 5.2% 05/16/2025-2024	AA+	50,000.000	49,942.00 99.88	49,967.50 25.50-	2,600.00 325.00	5.21
FEDERAL HOME LOAN BANK DTD 03/30/2021 CALL .8% 05/30/2025-2021	AA+	50,000.000	48,023.50 96.05	50,000.00 1,976.50-	400.00 101.11	0.83
FEDERAL HOME LOAN BANK DTD 6/24/2020 CALL .75% 06/24/2025-2020	AA+	34,722.220	33,244.10 95.74	34,722.22 1,478.12-	260.42 5.06	0.78
FREDDIE MAC DTD 6/25/2020 CALL .7% 06/25/2025-2023		100,000.000	95,515.00 95.52	95,958.11 443.11-	700.00 11.67	0.73
FEDERAL HOME LOAN BANK DTD 7/15/2020 CALL .68% 07/15/2025-2022	AA+	50,000.000	47,740.00 95.48	49,437.32 1,697.32-	340.00 156.78	0.71
FANNIE MAE .65% 07/30/2025-2021	AA+	125,000.000	119,262.50 95.41	124,967.50 5,705.00-	812.50 340.80	0.68
FANNIE MAE DTD 08/18/2020 CALL .6% 08/18/2025-2021	AA+	100,000.000	95,151.00 95.15	100,000.00 4,849.00-	600.00 221.67	0.63
FREDDIE MAC DTD 09/30/2020 CALL .6% 09/30/2025-2021		100,000.000	94,591.00 94.59	100,000.00 5,409.00-	600.00 151.67	0.63
FANNIE MAE DTD 10/20/2020 CALL .58% 10/20/2025-2021	AA+	100,000.000	94,351.00 94.35	99,975.00 5,624.00-	580.00 114.39	0.61
FEDERAL HOME LOAN BANK DTD 10/30/2023 CALL 5.6% 10/30/2025-2024	AA+	50,000.000	49,978.00 99.96	50,000.00 22.00-	2,800.00 1,874.44	5.60
FREDDIE MAC DTD 11/24/2020 CALL .625% 11/24/2025-2021		100,000.000	94,096.00 94.10	99,995.00 5,899.00-	625.00 64.24	0.66

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
US GOVERNMENT AGENCY						
FEDERAL HOME LOAN BANK DTD 1/28/2021 CALL .7% 01/28/2026-2021	AA+	50,000.000	46,737.00 93.47	50,000.00 3,263.00-	350.00 148.75	0.75
FEDERAL HOME LOAN BANK DTD 01/30/2024 CALL 4.8% 01/30/2026-2025	AA+	100,000.000	99,420.00 99.42	100,000.00 580.00-	4,800.00	4.83
FEDERAL HOME LOAN BANK DTD 02/01/2024 CALL 5% 02/04/2026-2024	AA+	100,000.000	99,733.00 99.73	100,000.00 267.00-	5,000.00 2,083.33	5.01
FEDERAL HOME LOAN BANK DTD 2/9/2024 CALL 5.05% 02/06/2026-2024	AA+	50,000.000	49,852.50 99.71	50,000.00 147.50-	2,525.00 995.97	5.06
FEDERAL HOME LOAN DTD 2/24/2021 CALL .65% 02/24/2026-2021	AA+	50,000.000	46,552.50 93.11	50,000.00 3,447.50-	325.00 114.65	0.70
FEDERAL HOME LOAN BANK DTD 02/26/21 CALL .78% 02/26/2026-2021	AA+	50,000.000	46,710.00 93.42	50,000.00 3,290.00-	390.00 135.42	0.83
FEDERAL HOME LOAN BANK DTD 8/12/2021 CALL 1% 05/12/2026-2021	AA+	55,000.000	51,244.05 93.17	55,000.00 3,755.95-	550.00 212.36	1.07
FEDERAL HOME LOAN BANK DTD 8/26/2021 CALL .9% 08/26/2026-2021	AA+	150,000.000	138,030.00 92.02	149,887.50 11,857.50-	1,350.00 468.75	0.98
FEDERAL HOME LOAN BANK DTD 09/30/2021 CALL 1.02% 09/30/2026-2022	AA+	50,000.000	45,963.00 91.93	50,000.00 4,037.00-	510.00 128.92	1.11
FEDERAL HOME LOAN BANK DTD 04/05/2024 CALL 5% 04/02/2027-2025		150,000.000	149,868.00 99.91	150,000.00 132.00-	7,500.00 1,791.67	5.00
FEDERAL HOME LOAN BANK DTD 04/10/2024 CALL 4.9% 04/10/2028-2026		100,000.000	100,289.00 100.29	100,000.00 289.00	4,900.00 1,102.50	4.89
TOTAL US GOVERNMENT AGENCY		SUB-TOTAL	2,092,107.65	2,162,125.12 70,017.47-	45,167.92 12,378.05	2.16
TOTAL FIXED INCOME			2,190,723.65	2,264,164.69 73,441.04-	47,917.92 13,661.38	2.19
TOTAL ASSETS			2,234,835.82	2,308,276.86 73,441.04-	50,220.58 13,853.27	2.25
TOTAL ACCRUED INC			13,853.27	13,853.27		
GRAND TOTAL ASSETS			2,248,689.09	2,322,130.13 73,441.04-	50,220.58 13,853.27	2.25

TRANSACTION DETAIL

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
BEGINNING BALANCE		0.00	0.00	2,305,540.66	
NET INTEREST INCOME					
06/03/24	INTEREST ON BLACKROCK BLF PAYABLE 06/01/2024 EFFECTIVE 06/01/2024		188.87		
06/04/24	INTEREST ON 50,000 UNITS FEDERAL HOME LOAN BANK DTD 5/26/2021 CALL .5% 09/26/2024-2022 PAYABLE 05/26/2024 EFFECTIVE 05/26/2024		125.00		
06/17/24	INTEREST ON 50,000 UNITS FANNIE MAE DTD 12/16/2020 CALL .5% 12/16/2024-2021 PAYABLE 06/16/2024 EFFECTIVE 06/16/2024		125.00		
06/24/24	INTEREST ON 34,722.22 UNITS FEDERAL HOME LOAN BANK DTD 6/24/2020 CALL .75% 06/24/2025-2020 PAYABLE 06/24/2024		130.21		
06/25/24	INTEREST ON 100,000 UNITS FREDDIE MAC DTD 6/25/2020 CALL .7% 06/25/2025-2023 PAYABLE 06/25/2024		350.00		
TOTAL NET INTEREST INCOME		0.00	919.08	0.00	0.00
AMORT/ACCRETION					
06/04/24	ACCRETION ON 50,000 UNITS FEDERAL HOME LOAN BANK DTD 5/26/2021 CALL .5% 09/26/2024-2022 EFFECTIVE 05/26/2024 TO ADJUST TAX LOT, ACCRETION = 184.63	184.63-	184.63	184.63	
06/25/24	ACCRETION ON 100,000 UNITS FREDDIE MAC DTD 6/25/2020 CALL .7% 06/25/2025-2023 TO ADJUST TAX LOT, ACCRETION = 1,952.92	1,952.92-	1,952.92	1,952.92	
TOTAL AMORT/ACCRETION		2,137.55-	2,137.55	2,137.55	0.00
FEES					
06/27/24	MANAGEMENT FEES CITIZENS BUSINESS BANK FOR THE PERIOD ENDING 06/20/2024	320.43-			
TOTAL FEES		320.43-	0.00	0.00	0.00

TRANSACTION DETAIL (CONTINUED)

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
MISCELLANEOUS					
06/28/24	TRANSFERRED TO PRINCIPAL		3,056.63-		
06/28/24	TRANSFERRED FROM INCOME	3,056.63			
	NET CASH MANAGEMENT	598.65-		598.65	
TOTAL MISCELLANEOUS		2,457.98	3,056.63-	598.65	0.00
ENDING BALANCE		0.00	0.00	2,308,276.86	0.00

DISCLOSURE

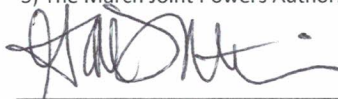
1099S WILL BE POST-MARKED ON OR BEFORE FEBRUARY 28TH. UNLESS THE ACCOUNT HOLDS COMPLEX ASSETS (REITS, GNMA, FNMA, OTHER GOV'T AGY) OR MASTER LIMITED PARTNERSHIPS (MLPS). THE LATTER WILL BE POST-MARKED BY MARCH 18TH. MAILING OF FIDUCIARY TAX INFORMATION WILL BEGIN MID-FEBRUARY AND CONTINUE THROUGH EARLY APRIL.

**March Joint Powers Authority
Investment Quarterly Report
Pension Reserve Fund
June 30, 2024**

<u>Type</u>	<u>Issuer</u>	<u>Coupon</u>	<u>CUSIP</u>	<u>Purchase Date</u>	<u>Maturity Date</u>	<u>Cost</u>	<u>Market Value</u>
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 213,846.33	\$ 213,846.33
Fixed Income							
US Government Agency	FEDERAL HOME LOAN BANK	0.760%	3130ALE42	2/25/2021	8/25/2026	\$ 457,750.00	\$ 458,310.00
	FEDERAL HOME LOAN BANK	1.020%	3130APAC9	10/14/2021	10/14/2026	\$ 155,856.00	\$ 155,932.50
	FEDERAL HOME LOAN BANK	5.000%	3130AUGB4	1/26/2023	1/26/2026	\$ 2,540,000.00	\$ 2,532,354.60
	FEDERAL HOME LOAN BANK	5.600%	3130AXG93	10/30/2023	10/30/2025	\$ 4,000,000.00	\$ 3,998,240.00
	FEDERAL HOME LOAN BANK	5.000%	3130AYLP9	1/19/2024	10/17/2025	\$ 1,249,812.50	\$ 1,245,900.00
	FEDERAL HOME LOAN BANK	4.800%	3130AYPS9	1/30/2024	1/30/2026	\$ 600,000.00	\$ 596,520.00
	FEDERAL HOME LOAN BANK	5.000%	3130AYQZ2	2/1/2024	2/4/2026	\$ 500,000.00	\$ 498,665.00
	FEDERAL HOME LOAN BANK	5.050%	3130AYWJ1	2/9/2024	2/6/2026	\$ 300,000.00	\$ 299,115.00
	FEDERAL HOME LOAN BANK	5.300%	3130B12K2	4/23/2024	7/23/2027	\$ 699,755.00	\$ 698,285.00
	FEDERAL HOME LOAN MORTGAGE CORP	5.150%	3134GYJ29	2/14/2023	2/14/2025	\$ 999,250.00	\$ 998,680.00
	FEDERAL NATIONAL MORTGAGE ASSOCIATION	5.050%	3135GAN72	2/7/2024	2/5/2027	\$ 500,000.00	\$ 498,640.00
	Total US Government Agency					\$ 12,002,423.50	\$ 11,980,642.10
Total Fixed Income						\$ 12,002,423.50	\$ 11,980,642.10
Total Assets						\$ 12,216,269.83	\$ 12,194,488.43

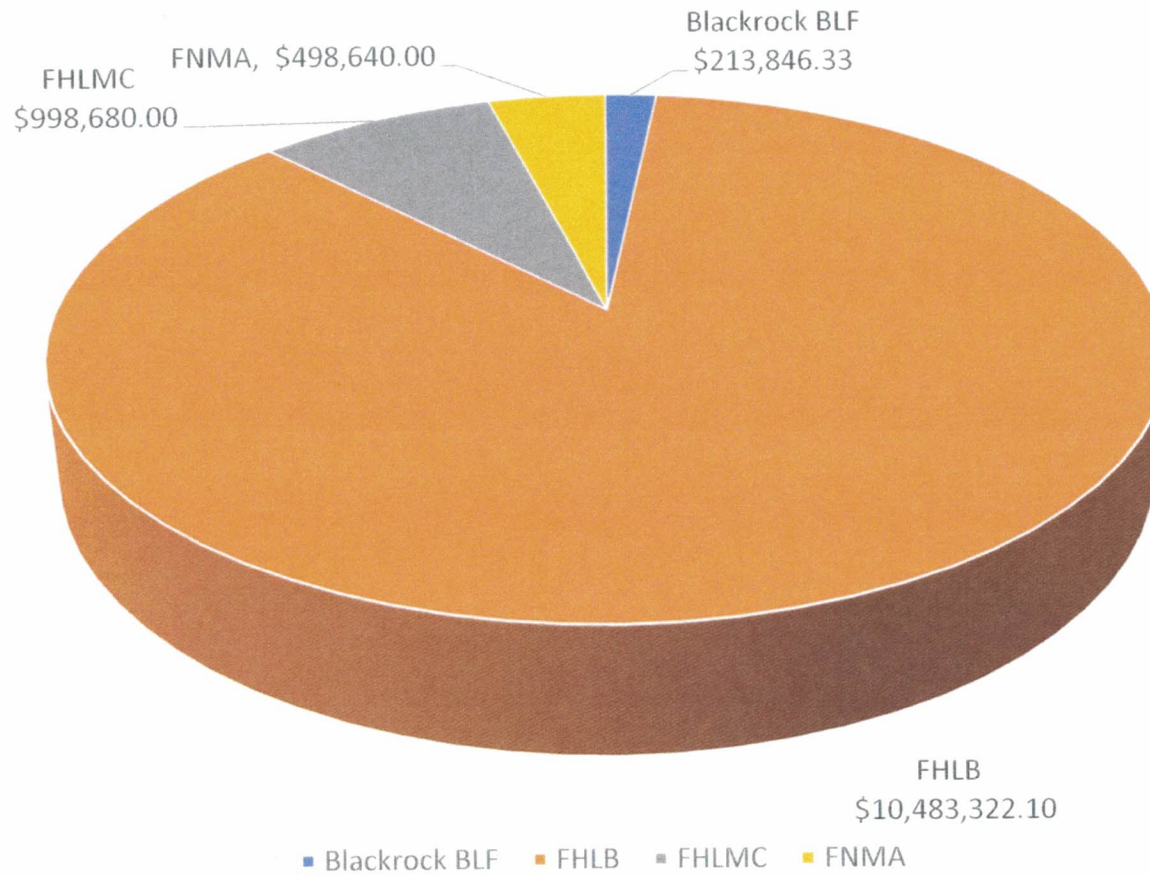
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- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



Dr. Grace Martin
Executive Director/Treasurer

March Joint Powers Authority
Pension Reserve Fund
June 30, 2024



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 06/01/2024 TO 06/30/2024
ACCOUNT 1035009006

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

* PORTFOLIO: SUMMARY GRAPHICAL DISPLAY WITH MARKET VALUE & PERCENT

* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

* PORTFOLIO STATEMENT: A LISTING OF COST AND MARKET VALUE OF ASSETS HELD IN THE PORTFOLIO

COST BASIS APPLICABLE FOR CALCULATING CAPITAL GAINS AND LOSSES.
MARKET VALUE IS THE CURRENT VALUE OF EACH ASSET FOR MOST STOCKS AND BONDS.
MARKETS ARE THE CLOSING PRICES ON THE LAST TRADING DAY OF THE PERIOD.

* TRANSACTION STATEMENT: A COMPLETE LISTING FOR THE PERIOD GROUPED BY TRANSACTION TYPE.

* DISCLOSURES: CITIZENS BUSINESS BANK MAY RECEIVE RESEARCH AND OTHER BENEFITS FROM BROKER DEALERS WHICH MAY BE CONSIDERED COMPENSATION TO US. UPON REQUEST WE WILL DISCLOSE DETAILS OF ANY COMPENSATION RECEIVED.

* TO TRUST BENEFICIARIES: UNDER SECTION 17200 OF CALIFORNIA PROBATE CODE, YOU MAY PETITION THE COURT TO OBTAIN A COURT REVIEW OF THE ACCOUNT AND THE ACTS OF THE TRUSTEE. CLAIMS AGAINST THE TRUSTEE FOR BREACH OF TRUST MUST BE MADE WITHIN THREE YEARS FROM THE DATE OF RECEIPT OF AN ACCOUNTING OR OTHER REPORT DISCLOSING FACTS GIVING RISE TO THE CLAIM.

ACCOUNT NUMBER: 1035009006
 JUNE 01, 2024 TO JUNE 30, 2024

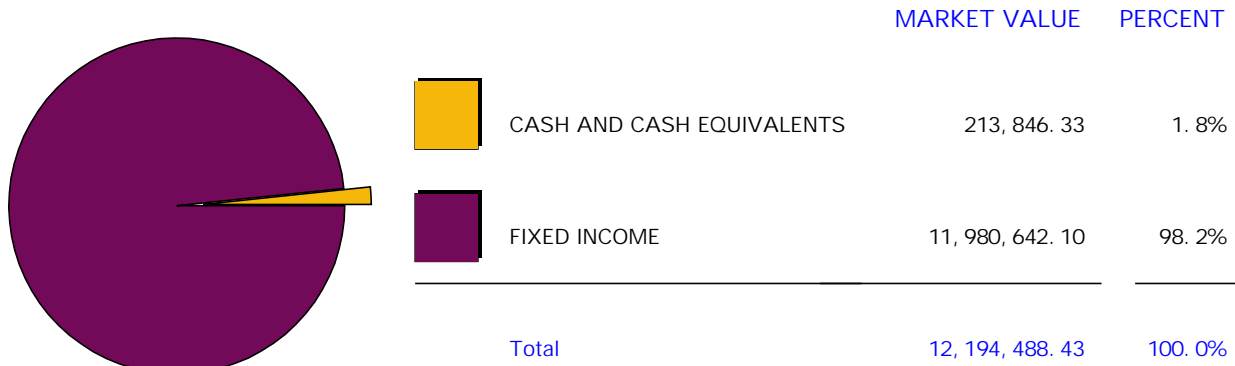
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ACCOUNT NAME: MARCH JOINT POWERS AUTHORITY
 PENSION RESERVE FUND

ACCOUNT NUMBER: 1035009006

RELATIONSHIP
 MANAGER: ADAM T COPPERSMITH
 909-483-4390
 atcoppersmith@cbbank.com

ASSET SUMMARY



ACCOUNT VALUE CHANGE

	THIS PERIOD	YEAR TO DATE
BEGINNING MARKET VALUE	12,182,494.27	11,882,576.26
NET INTEREST INCOME	1,265.96	335,570.23
FEES	1,749.60-	10,248.66-
CHANGE IN MARKET VALUE	12,477.80	13,409.40-
ENDING MARKET VALUE	12,194,488.43	12,194,488.43

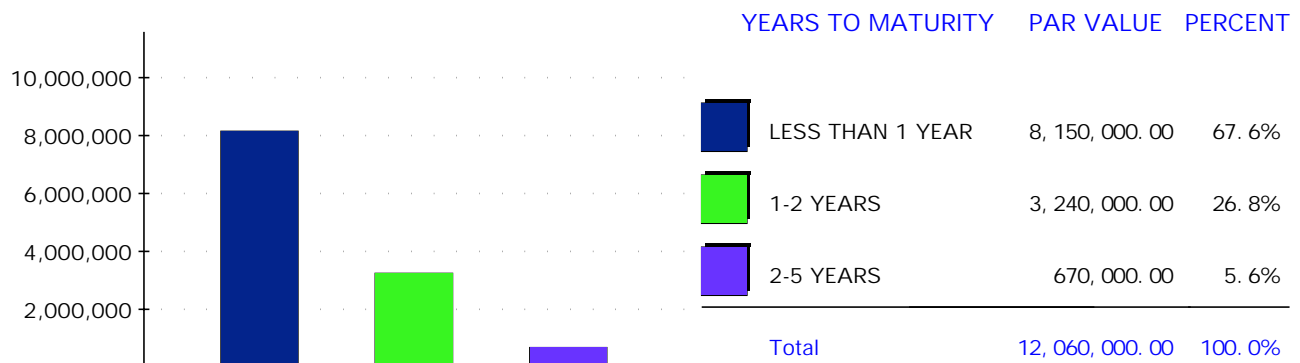
TRANSACTION SUMMARY

	CURRENT PERIOD			YEAR TO DATE		
	PRINCIPAL CASH	INCOME CASH	COST	PRINCIPAL CASH	INCOME CASH	COST
BEGINNING BALANCE	0.00	0.00	12,216,753.47	0.00	0.00	11,890,948.26
NET INTEREST INCOME	0.00	1,265.96	0.00	0.00	335,570.23	0.00
FEES	1,749.60-	0.00	0.00	10,248.66-	0.00	0.00
SALES	0.00	0.00	0.00	4,940,000.00	0.00	4,940,000.00-
PURCHASES	0.00	0.00	0.00	5,462,423.50-	0.00	5,462,423.50
MISCELLANEOUS	1,749.60	1,265.96-	483.64-	532,672.16	335,570.23-	197,101.93-
ENDING BALANCE	0.00	0.00	12,216,269.83	0.00	0.00	12,216,269.83

ASSET DETAIL

DESCRIPTION	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
CASH AND CASH EQUIVALENTS				
BLACKROCK BLF	213,846.33 1.00	213,846.33 0.00	11,162.78 930.23	5.22
TOTAL CASH AND CASH EQUIVALENTS	213,846.33	213,846.33 0.00	11,162.78 930.23	5.22

BOND MATURITY SUMMARY



AVERAGE TIME TO MATURITY: 0.9 YEARS

CURRENT YIELD: 5.02%

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
US GOVERNMENT AGENCY						
FREDDIE MAC DTD 02/14/2023 CALL 5.15% 02/14/2025-2024	AA+	1,000,000.000	998,680.00 99.87	999,250.00 570.00-	51,500.00 19,598.61	5.16
FEDERAL HOME LOAN BANK DTD 1/19/2024 CALL 5% 10/17/2025-2024	AA+	1,250,000.000	1,245,900.00 99.67	1,249,812.50 3,912.50-	62,500.00 12,847.22	5.02
FEDERAL HOME LOAN BANK DTD 10/30/2023 CALL 5.6% 10/30/2025-2024	AA+	4,000,000.000	3,998,240.00 99.96	4,000,000.00 1,760.00-	224,000.00 149,955.56	5.60
FEDERAL HOME LOAN BANK DTD 01/26/2023 CALL 5% 01/26/2026-2024	AA+	2,540,000.000	2,532,354.60 99.70	2,540,000.00 7,645.40-	127,000.00 54,680.56	5.02
FEDERAL HOME LOAN BANK DTD 01/30/2024 CALL 4.8% 01/30/2026-2025	AA+	600,000.000	596,520.00 99.42	600,000.00 3,480.00-	28,800.00	4.83
FEDERAL HOME LOAN BANK DTD 02/01/2024 CALL 5% 02/04/2026-2024	AA+	500,000.000	498,665.00 99.73	500,000.00 1,335.00-	25,000.00 10,416.67	5.01

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
US GOVERNMENT AGENCY						
FEDERAL HOME LOAN BANK DTD 2/9/2024 CALL 5.05% 02/06/2026-2024	AA+	300,000.000	299,115.00 99.71	300,000.00 885.00-	15,150.00 5,975.83	5.06
FEDERAL HOME LOAN BANK DTD 02/25/2021 CALL .76% 08/25/2026-2024	AA+	500,000.000	458,310.00 91.66	457,750.00 560.00	3,800.00 63.33	0.83
FEDERAL HOME LOAN BANK DTD 10/14/2021 CALL 1.02% 10/14/2026-2024	AA+	170,000.000	155,932.50 91.73	155,856.00 76.50	1,734.00 370.88	1.11
FANNIE MAE FANNIE MAE DTD 2/7/2024 CALL 5.05% 02/05/2027-2025	AA+	500,000.000	498,640.00 99.73	500,000.00 1,360.00-	25,250.00 10,100.00	5.06
FEDERAL HOME LOAN BANK DTD 4/23/2024 CALL 5.3% 07/23/2027-2025	AA+	700,000.000	698,285.00 99.76	699,755.00 1,470.00-	37,100.00 7,007.78	5.31
TOTAL US GOVERNMENT AGENCY		SUB-TOTAL	11,980,642.10	12,002,423.50 21,781.40-	601,834.00 271,016.44	5.02
TOTAL FIXED INCOME			11,980,642.10	12,002,423.50 21,781.40-	601,834.00 271,016.44	5.02
TOTAL ASSETS			12,194,488.43	12,216,269.83 21,781.40-	612,996.78 271,946.67	5.03
TOTAL ACCRUED INC			271,946.67	271,946.67		
GRAND TOTAL ASSETS			12,466,435.10	12,488,216.50 21,781.40-	612,996.78 271,946.67	5.03

TRANSACTION DETAIL

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
BEGINNING BALANCE		0.00	0.00	12,216,753.47	
NET INTEREST INCOME					
06/03/24	INTEREST ON BLACKROCK BLF PAYABLE 06/01/2024 EFFECTIVE 06/01/2024		949.29		
06/25/24	INTEREST ON 500,000 UNITS FEDERAL HOME LOAN BANK DTD 02/25/2021 CALL .76% 08/25/2026-2024 PAYABLE 06/25/2024		316.67		
TOTAL NET INTEREST INCOME		0.00	1,265.96	0.00	0.00
FEES					
06/27/24	MANAGEMENT FEES CITIZENS BUSINESS BANK FOR THE PERIOD ENDING 06/20/2024	1,749.60-			
TOTAL FEES		1,749.60-	0.00	0.00	0.00
MISCELLANEOUS					
06/28/24	TRANSFERRED TO PRINCIPAL		1,265.96-		
06/28/24	TRANSFERRED FROM INCOME	1,265.96			
	NET CASH MANAGEMENT	483.64		483.64-	
TOTAL MISCELLANEOUS		1,749.60	1,265.96-	483.64-	0.00
ENDING BALANCE		0.00	0.00	12,216,269.83	0.00

DISCLOSURE

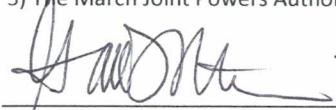
1099S WILL BE POST-MARKED ON OR BEFORE FEBRUARY 28TH. UNLESS THE ACCOUNT HOLDS COMPLEX ASSETS (REITS, GNMA, FNMA, OTHER GOV'T AGY) OR MASTER LIMITED PARTNERSHIPS (MLPS). THE LATTER WILL BE POST-MARKED BY MARCH 18TH. MAILING OF FIDUCIARY TAX INFORMATION WILL BEGIN MID-FEBRUARY AND CONTINUE THROUGH EARLY APRIL.

**March Joint Powers Authority
Investment Quarterly Report
Fire Facilities Fund
June 30, 2024**

<u>Type</u>	<u>Issuer</u>	<u>Coupon</u>	<u>CUSIP</u>	<u>Purchase Date</u>	<u>Maturity Date</u>	<u>Cost</u>	<u>Market Value</u>
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 44,243.60	\$ 44,243.60
Fixed Income							
US Government Agency							
	FEDERAL HOME LOAN BANK	4.800%	3130AYPS9	1/30/2024	1/30/2026	\$ 300,000.00	\$ 298,260.00
	FEDERAL HOME LOAN BANK	5.000%	3130AYQZ2	2/1/2024	2/4/2026	\$ 250,000.00	\$ 249,332.50
	FEDERAL HOME LOAN BANK	5.050%	3130AYUB0	2/8/2024	11/7/2025	\$ 200,000.00	\$ 199,504.00
	FEDERAL HOME LOAN BANK	5.050%	3130AYWJ1	2/9/2024	2/6/2026	\$ 200,000.00	\$ 199,410.00
	FEDERAL HOME LOAN BANK	5.000%	3130B0RE1	4/5/2024	4/7/2027	\$ 150,000.00	\$ 149,868.00
	FEDERAL HOME LOAN BANK	4.900%	3130B0TE9	4/10/2024	4/10/2028	\$ 125,000.00	\$ 125,361.25
	FEDERAL HOME LOAN BANK	5.250%	3130B0YF0	4/22/2024	4/22/2026	\$ 150,000.00	\$ 150,186.00
	FEDERAL HOME LOAN MORTGAGE CORP	5.150%	3134GYJ29	2/14/2023	2/14/2025	\$ 249,812.50	\$ 249,670.00
	FEDERAL HOME LOAN MORTGAGE CORP	5.200%	3134GYSA1	5/16/2024	5/16/2025	\$ 199,870.00	\$ 199,768.00
	Total US Government Agency					\$ 1,824,682.50	\$ 1,821,359.75
Total Fixed Income						\$ 1,824,682.50	\$ 1,821,359.75
Total Assets						\$ 1,868,926.10	\$ 1,865,603.35

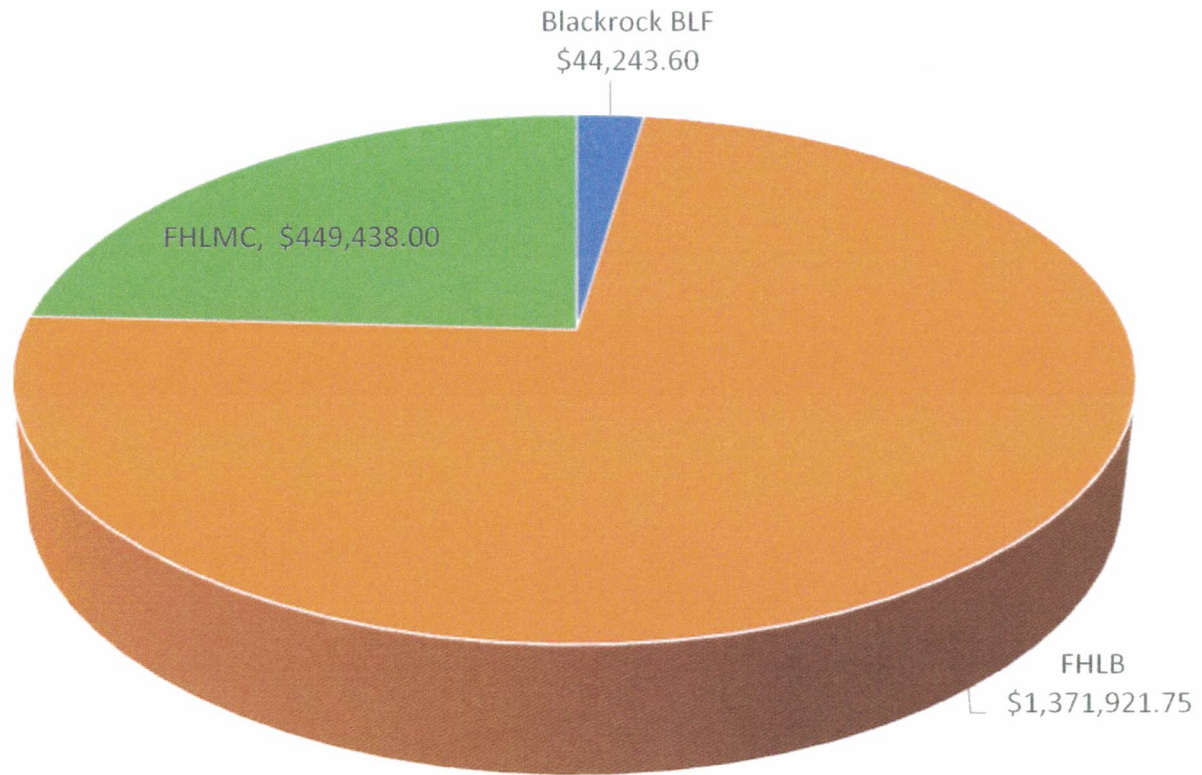
Investment Policy Assertions

- 1) Portfolio valuation provided by ICE Data Services
- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



Dr. Grace Martin
Chief Executive Officer/Treasurer

**March Joint Powers Authority
Fire Facilities Fund
June 30, 2024**



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 06/01/2024 TO 06/30/2024
ACCOUNT 1035006991

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

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* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

* PORTFOLIO STATEMENT: A LISTING OF COST AND MARKET VALUE OF ASSETS HELD IN THE PORTFOLIO

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ACCOUNT NUMBER: 1035006991
 JUNE 01, 2024 TO JUNE 30, 2024

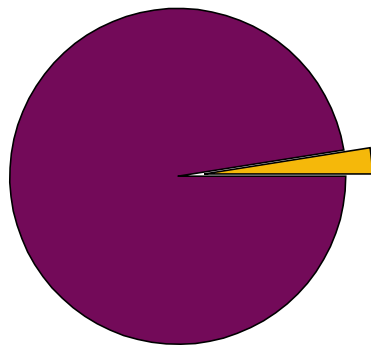
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ACCOUNT NAME: MARCH JOINT POWERS AUTHORITY
 FIRE FACILITY FUND
 CITIZENS BUSINESS BANK AS
 INVESTMENT MANAGEMENT AGENT

ACCOUNT NUMBER: 1035006991

RELATIONSHIP
 MANAGER: ADAM T COPPERSMITH
 909-483-4390
 atcoppersmith@cbbank.com

ASSET SUMMARY



	MARKET VALUE	PERCENT
CASH AND CASH EQUIVALENTS	44,243.60	2.4%
FIXED INCOME	1,821,359.75	97.6%
Total	1,865,603.35	100.0%

ACCOUNT VALUE CHANGE

	THIS PERIOD	YEAR TO DATE
BEGINNING MARKET VALUE	1,862,990.70	1,813,116.91
NET INTEREST INCOME	182.94	54,810.89
FEES	267.54-	1,568.00-
CHANGE IN MARKET VALUE	2,697.25	756.45-
ENDING MARKET VALUE	1,865,603.35	1,865,603.35

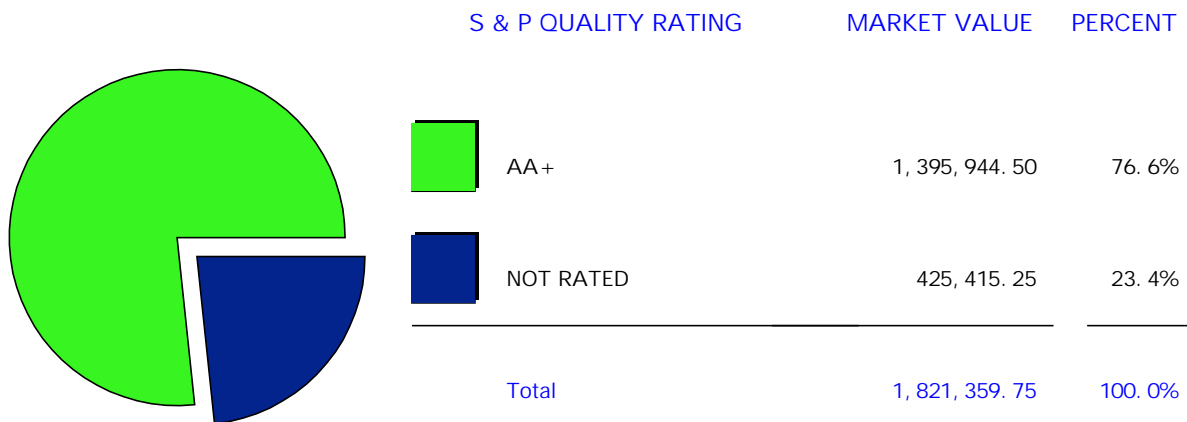
TRANSACTION SUMMARY

	CURRENT PERIOD			YEAR TO DATE		
	PRINCIPAL CASH	INCOME CASH	COST	PRINCIPAL CASH	INCOME CASH	COST
BEGINNING BALANCE	0.00	0.00	1,869,010.70	0.00	0.00	1,815,683.21
NET INTEREST INCOME	0.00	182.94	0.00	0.00	54,810.89	0.00
FEES	267.54-	0.00	0.00	1,568.00-	0.00	0.00
SALES	0.00	0.00	0.00	1,740,000.00	0.00	1,740,000.00-
PURCHASES	0.00	0.00	0.00	1,824,682.50-	0.00	1,824,682.50
MISCELLANEOUS	267.54	182.94-	84.60-	86,250.50	54,810.89-	31,439.61-
ENDING BALANCE	0.00	0.00	1,868,926.10	0.00	0.00	1,868,926.10

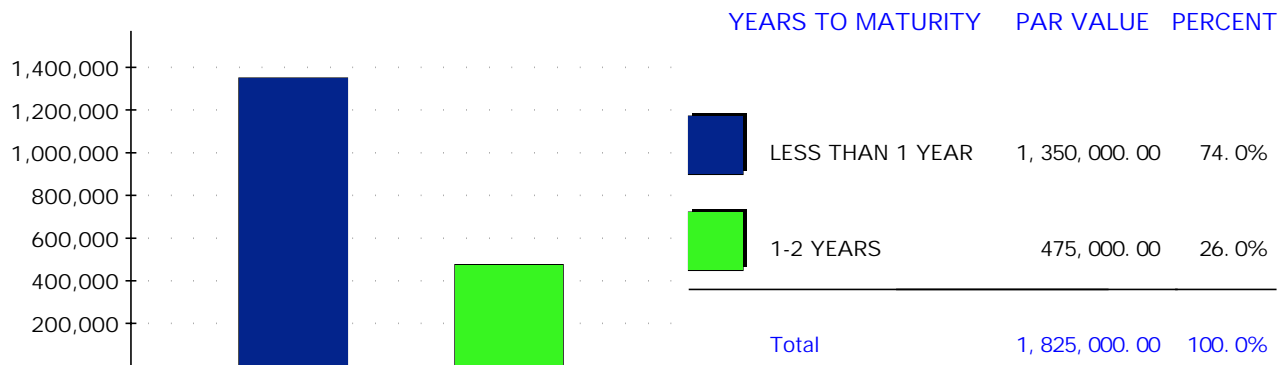
ASSET DETAIL

DESCRIPTION	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
CASH AND CASH EQUIVALENTS				
BLACKROCK BLF	44,243.60	44,243.60	2,309.52	5.22
	1.00	0.00	192.46	
TOTAL CASH AND CASH EQUIVALENTS	44,243.60	44,243.60	2,309.52	5.22
		0.00	192.46	

BOND QUALITY SUMMARY



BOND MATURITY SUMMARY



AVERAGE TIME TO MATURITY: 0.9 YEARS

CURRENT YIELD: 5.04%

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
US GOVERNMENT AGENCY						
FREDDIE MAC DTD 02/14/2023 CALL 5.15% 02/14/2025-2024	AA+	250,000.000	249,670.00 99.87	249,812.50 142.50-	12,875.00 4,899.65	5.16
FREDDIE MAC DTD 05/16/2023 CALL 5.2% 05/16/2025-2024	AA+	200,000.000	199,768.00 99.88	199,870.00 102.00-	10,400.00 1,300.00	5.21
FEDERAL HOME LOAN BANK DTD 2/8/2024 CALL 5.05% 11/07/2025-2025	AA+	200,000.000	199,504.00 99.75	200,000.00 496.00-	10,100.00 1,515.00	5.06
FEDERAL HOME LOAN BANK DTD 01/30/2024 CALL 4.8% 01/30/2026-2025	AA+	300,000.000	298,260.00 99.42	300,000.00 1,740.00-	14,400.00	4.83
FEDERAL HOME LOAN BANK DTD 02/01/2024 CALL 5% 02/04/2026-2024	AA+	250,000.000	249,332.50 99.73	250,000.00 667.50-	12,500.00 5,208.33	5.01
FEDERAL HOME LOAN BANK DTD 2/9/2024 CALL 5.05% 02/06/2026-2024	AA+	200,000.000	199,410.00 99.71	200,000.00 590.00-	10,100.00 3,983.89	5.06
FEDERAL HOME LOAN BANK DTD 4/22/2024 CALL 5.25% 04/22/2026-2025		150,000.000	150,186.00 100.12	150,000.00 186.00	7,875.00 1,509.38	5.24
FEDERAL HOME LOAN BANK DTD 04/05/2024 CALL 5% 04/02/2027-2025		150,000.000	149,868.00 99.91	150,000.00 132.00-	7,500.00 1,791.67	5.00
FEDERAL HOME LOAN BANK DTD 04/10/2024 CALL 4.9% 04/10/2028-2026		125,000.000	125,361.25 100.29	125,000.00 361.25	6,125.00 1,378.13	4.89
TOTAL US GOVERNMENT AGENCY		SUB-TOTAL	1,821,359.75	1,824,682.50 3,322.75-	91,875.00 21,586.05	5.04
TOTAL FIXED INCOME			1,821,359.75	1,824,682.50 3,322.75-	91,875.00 21,586.05	5.04
TOTAL ASSETS			1,865,603.35	1,868,926.10 3,322.75-	94,184.52 21,778.51	5.05
TOTAL ACCRUED INC			21,778.51	21,778.51		
GRAND TOTAL ASSETS			1,887,381.86	1,890,704.61 3,322.75-	94,184.52 21,778.51	5.05

TRANSACTION DETAIL

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
BEGINNING BALANCE		0.00	0.00	1,869,010.70	
NET INTEREST INCOME					
06/03/24	INTEREST ON BLACKROCK BLF PAYABLE 06/01/2024 EFFECTIVE 06/01/2024		182.94		
TOTAL NET INTEREST INCOME		0.00	182.94	0.00	0.00
FEES					
06/27/24	MANAGEMENT FEES CITIZENS BUSINESS BANK FOR THE PERIOD ENDING 06/20/2024	267.54-			
TOTAL FEES		267.54-	0.00	0.00	0.00
MISCELLANEOUS					
06/28/24	TRANSFERRED TO PRINCIPAL		182.94-		
06/28/24	TRANSFERRED FROM INCOME	182.94			
	NET CASH MANAGEMENT	84.60		84.60-	
TOTAL MISCELLANEOUS		267.54	182.94-	84.60-	0.00
ENDING BALANCE		0.00	0.00	1,868,926.10	0.00

DISCLOSURE

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**March Joint Powers Authority
Investment Quarterly Report
Meridian Drainage Fund
June 30, 2024**

Type	Issuer	Coupon	CUSIP	Purchase Date	Maturity Date	Cost	Market Value
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 27,731.03	\$ 27,731.03
Fixed Income							
US Government Agency	FEDERAL FARM CREDIT BANK	5.000%	3130AUGB4	1/26/2023	1/26/2026	\$ 1,270,000.00	\$ 1,266,177.30
	FEDERAL HOME LOAN BANK	4.800%	3130AYPS9	1/30/2024	1/30/2026	\$ 300,000.00	\$ 298,260.00
	FEDERAL FARM CREDIT BANK	5.000%	3130AYQZ2	2/1/2024	2/4/2026	\$ 250,000.00	\$ 249,332.50
	FEDERAL FARM CREDIT BANK	5.050%	3130AYUB0	2/8/2024	11/7/2025	\$ 200,000.00	\$ 199,504.00
	FEDERAL FARM CREDIT BANK	5.050%	3130AYWJ1	2/9/2024	2/6/2026	\$ 150,000.00	\$ 149,557.50
	FEDERAL FARM CREDIT BANK	4.900%	3130B0TE9	4/10/2024	4/10/2028	\$ 75,000.00	\$ 75,216.75
	FREDDIE MAC	5.150%	3134GYJ29	2/14/2023	2/14/2025	\$ 249,812.50	\$ 249,670.00
Total US Government Agency						\$ 2,494,812.50	\$ 2,487,718.05
Total Fixed Income						\$ 2,494,812.50	\$ 2,487,718.05
Total Assets						\$ 2,522,543.53	\$ 2,515,449.08

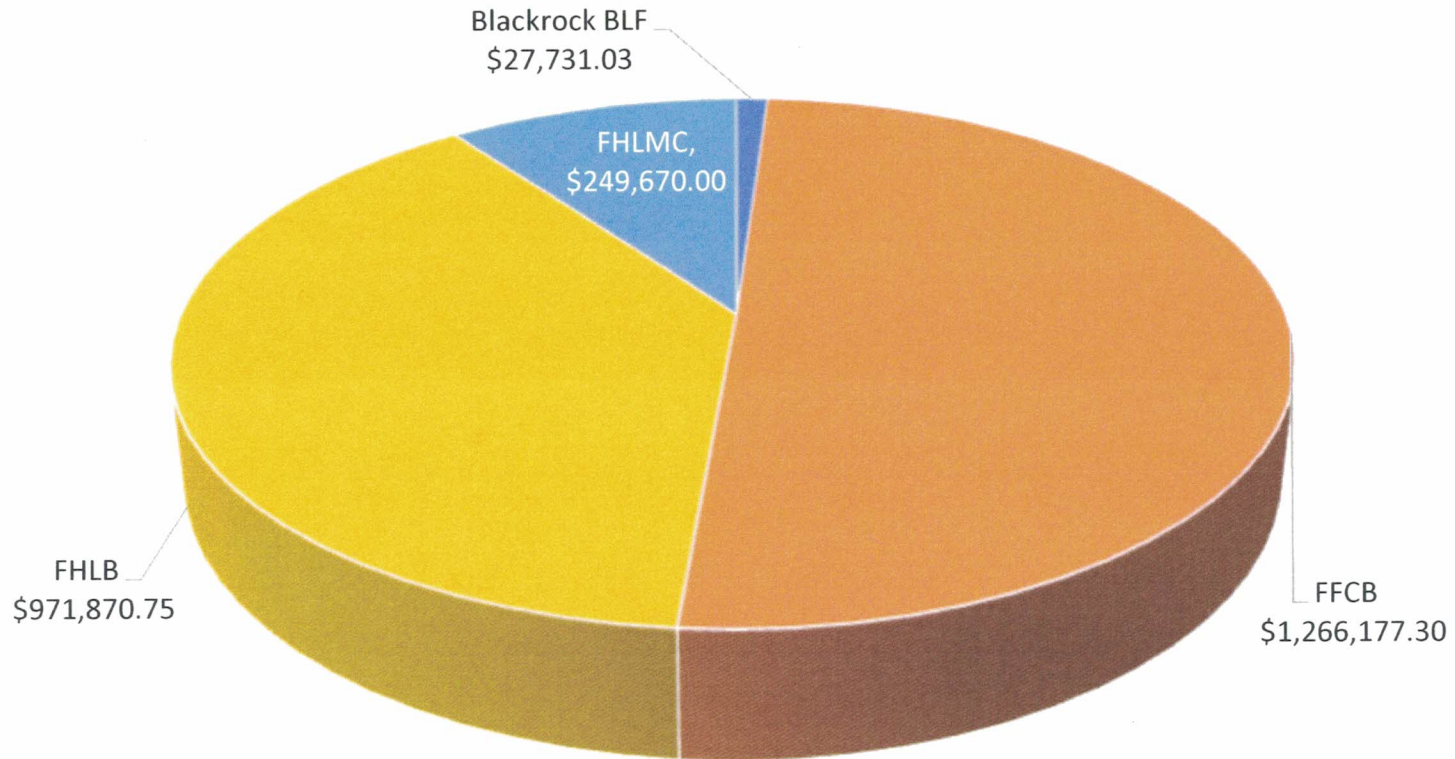
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- 1) Portfolio valuation provided by ICE Data Services
- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



 Dr. Grace Martin
 Chief Executive Officer/Treasurer

**March Joint Powers Authority
Meridian Drainage Fund
June 30, 2024**



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 06/01/2024 TO 06/30/2024
ACCOUNT 1035006982

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

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* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

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* TRANSACTION STATEMENT: A COMPLETE LISTING FOR THE PERIOD GROUPED BY TRANSACTION TYPE.

* DISCLOSURES: CITIZENS BUSINESS BANK MAY RECEIVE RESEARCH AND OTHER BENEFITS FROM BROKER DEALERS WHICH MAY BE CONSIDERED COMPENSATION TO US. UPON REQUEST WE WILL DISCLOSE DETAILS OF ANY COMPENSATION RECEIVED.

* TO TRUST BENEFICIARIES: UNDER SECTION 17200 OF CALIFORNIA PROBATE CODE, YOU MAY PETITION THE COURT TO OBTAIN A COURT REVIEW OF THE ACCOUNT AND THE ACTS OF THE TRUSTEE. CLAIMS AGAINST THE TRUSTEE FOR BREACH OF TRUST MUST BE MADE WITHIN THREE YEARS FROM THE DATE OF RECEIPT OF AN ACCOUNTING OR OTHER REPORT DISCLOSING FACTS GIVING RISE TO THE CLAIM.

ACCOUNT NUMBER: 1035006982
 JUNE 01, 2024 TO JUNE 30, 2024

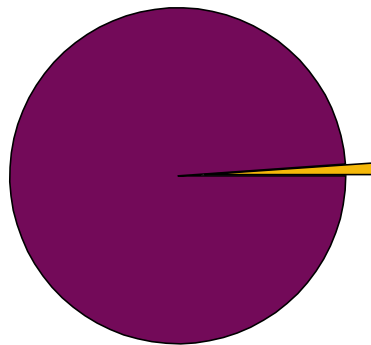
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ACCOUNT NAME: MARCH JOINT POWERS AUTHORITY
 MERIDIAN DRAINAGE FUND
 CITIZENS BUSINESS BANK AS
 INVESTMENT MANAGEMENT AGENT

ACCOUNT NUMBER: 1035006982

RELATIONSHIP
 MANAGER: ADAM T COPPERSMITH
 909-483-4390
 atcoppersmith@cbbank.com

ASSET SUMMARY



	MARKET VALUE	PERCENT
CASH AND CASH EQUIVALENTS	27,731.03	1.1%
FIXED INCOME	2,487,718.05	98.9%
Total	2,515,449.08	100.0%

ACCOUNT VALUE CHANGE

	THIS PERIOD	YEAR TO DATE
BEGINNING MARKET VALUE	2,512,968.20	2,453,745.97
NET INTEREST INCOME	122.42	66,518.38
FEES	360.79-	2,124.02-
CHANGE IN MARKET VALUE	2,719.25	2,691.25-
ENDING MARKET VALUE	2,515,449.08	2,515,449.08

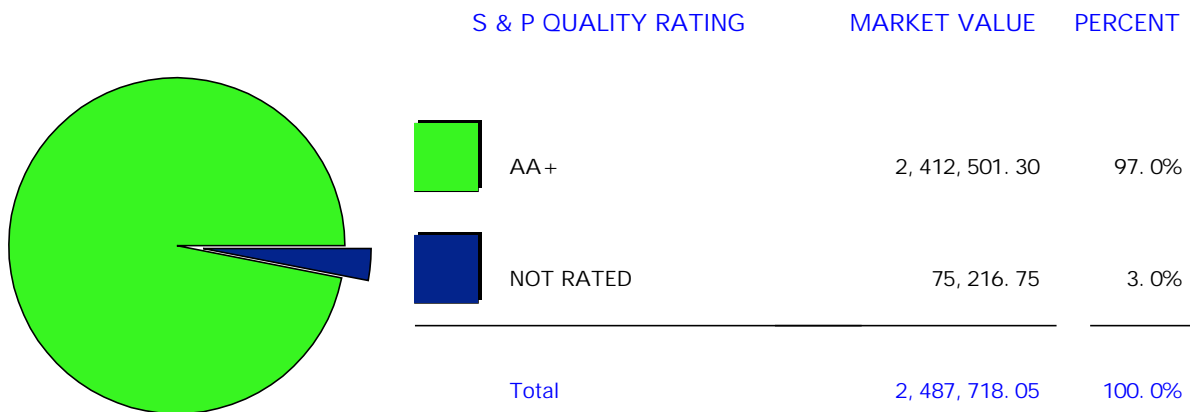
TRANSACTION SUMMARY

	CURRENT PERIOD			YEAR TO DATE		
	PRINCIPAL CASH	INCOME CASH	COST	PRINCIPAL CASH	INCOME CASH	COST
BEGINNING BALANCE	0.00	0.00	2,522,781.90	0.00	0.00	2,458,149.17
NET INTEREST INCOME	0.00	122.42	0.00	0.00	66,518.38	0.00
FEES	360.79-	0.00	0.00	2,124.02-	0.00	0.00
SALES	0.00	0.00	0.00	1,100,000.00	0.00	1,100,000.00-
PURCHASES	0.00	0.00	0.00	1,224,812.50-	0.00	1,224,812.50
MISCELLANEOUS	360.79	122.42-	238.37-	126,936.52	66,518.38-	60,418.14-
ENDING BALANCE	0.00	0.00	2,522,543.53	0.00	0.00	2,522,543.53

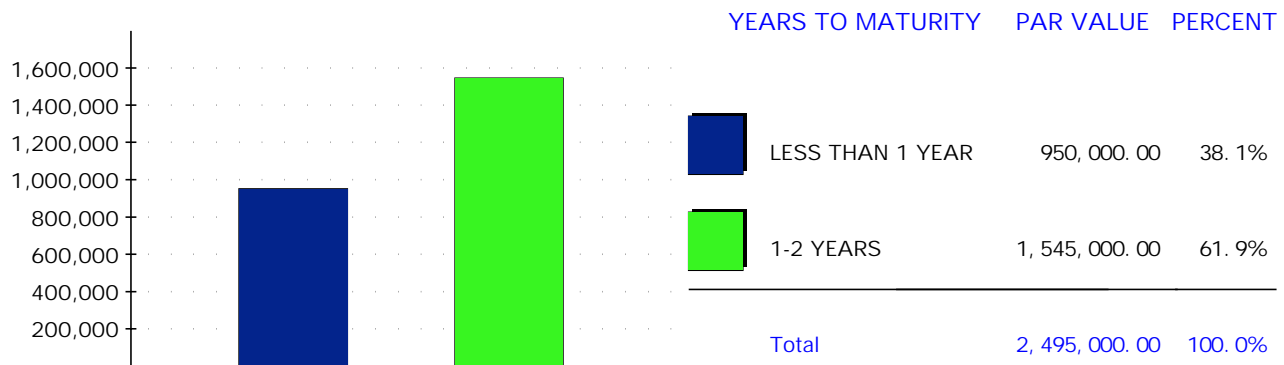
ASSET DETAIL

DESCRIPTION	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
CASH AND CASH EQUIVALENTS				
BLACKROCK BLF	27,731.03 1.00	27,731.03 0.00	1,447.56 120.63	5.22
TOTAL CASH AND CASH EQUIVALENTS	27,731.03	27,731.03 0.00	1,447.56 120.63	5.22

BOND QUALITY SUMMARY



BOND MATURITY SUMMARY



AVERAGE TIME TO MATURITY: 0.9 YEARS

CURRENT YIELD: 5.01%

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
US GOVERNMENT AGENCY						
FREDDIE MAC DTD 02/14/2023 CALL 5.15% 02/14/2025-2024	AA+	250,000.000	249,670.00 99.87	249,812.50 142.50-	12,875.00 4,899.65	5.16
FEDERAL HOME LOAN BANK DTD 2/8/2024 CALL 5.05% 11/07/2025-2025	AA+	200,000.000	199,504.00 99.75	200,000.00 496.00-	10,100.00 1,515.00	5.06
FEDERAL HOME LOAN BANK DTD 01/26/2023 CALL 5% 01/26/2026-2024	AA+	1,270,000.000	1,266,177.30 99.70	1,270,000.00 3,822.70-	63,500.00 27,340.28	5.02
FEDERAL HOME LOAN BANK DTD 01/30/2024 CALL 4.8% 01/30/2026-2025	AA+	300,000.000	298,260.00 99.42	300,000.00 1,740.00-	14,400.00	4.83
FEDERAL HOME LOAN BANK DTD 02/01/2024 CALL 5% 02/04/2026-2024	AA+	250,000.000	249,332.50 99.73	250,000.00 667.50-	12,500.00 5,208.33	5.01
FEDERAL HOME LOAN BANK DTD 2/9/2024 CALL 5.05% 02/06/2026-2024	AA+	150,000.000	149,557.50 99.71	150,000.00 442.50-	7,575.00 2,987.92	5.06
FEDERAL HOME LOAN BANK DTD 04/10/2024 CALL 4.9% 04/10/2028-2026		75,000.000	75,216.75 100.29	75,000.00 216.75	3,675.00 826.88	4.89
TOTAL US GOVERNMENT AGENCY		SUB-TOTAL	2,487,718.05	2,494,812.50 7,094.45-	124,625.00 42,778.06	5.01
TOTAL FIXED INCOME			2,487,718.05	2,494,812.50 7,094.45-	124,625.00 42,778.06	5.01
TOTAL ASSETS			2,515,449.08	2,522,543.53 7,094.45-	126,072.56 42,898.69	5.01
TOTAL ACCRUED INC			42,898.69	42,898.69		
GRAND TOTAL ASSETS			2,558,347.77	2,565,442.22 7,094.45-	126,072.56 42,898.69	5.01

TRANSACTION DETAIL

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
BEGINNING BALANCE		0.00	0.00	2,522,781.90	
NET INTEREST INCOME					
06/03/24	INTEREST ON BLACKROCK BLF PAYABLE 06/01/2024 EFFECTIVE 06/01/2024		122.42		
TOTAL NET INTEREST INCOME		0.00	122.42	0.00	0.00
FEES					
06/27/24	MANAGEMENT FEES CITIZENS BUSINESS BANK FOR THE PERIOD ENDING 06/20/2024	360.79-			
TOTAL FEES		360.79-	0.00	0.00	0.00
MISCELLANEOUS					
06/28/24	TRANSFERRED TO PRINCIPAL		122.42-		
06/28/24	TRANSFERRED FROM INCOME	122.42			
	NET CASH MANAGEMENT	238.37		238.37-	
TOTAL MISCELLANEOUS		360.79	122.42-	238.37-	0.00
ENDING BALANCE		0.00	0.00	2,522,543.53	0.00

DISCLOSURE

1099S WILL BE POST-MARKED ON OR BEFORE FEBRUARY 28TH. UNLESS THE ACCOUNT HOLDS COMPLEX ASSETS (REITS, GNMA, FNMA, OTHER GOV'T AGY) OR MASTER LIMITED PARTNERSHIPS (MLPS). THE LATTER WILL BE POST-MARKED BY MARCH 18TH. MAILING OF FIDUCIARY TAX INFORMATION WILL BEGIN MID-FEBRUARY AND CONTINUE THROUGH EARLY APRIL.

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA Operations - Consent Calendar
Agenda Item No. 8 (4)

Meeting Date: September 11, 2024

Action: **APPROVE JUNE AND JULY 2024 DISBURSEMENTS**

Motion: Move to approve the check disbursements for the months of June and July 2024 or take other actions as deemed appropriate by the Commission.

Background:

This item is an action approving the expenses (checks) that were incurred in the months of June and July 2024 for the March JPA; Lighting, Landscaping and Maintenance District (LLMD) No. 1; Community Facility District (CFD); Green Acres; and the Successor Agency to the former Redevelopment Agency). A listing of those checks is attached and will be reported in the minutes as an action item.

Attachment(s): Listing of checks disbursed in June and July 2024 for the March JPA, LLMD, CFD, Green Acres, and the Successor Agency.

Accounts Payable

Checks by Date - Summary by Check Number

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General Fund - Fund 100

Check No	Vendor No	Vendor Name	Check Date	Check Amount
3423	STCOMPFD	State Compensation Ins. Fund	06/10/2024	2,408.50
3424	SDRMA	SDRMA	06/25/2024	642.61
3425	LINCOLN	The Lincoln National Life Insurance Co.	06/25/2024	<u>1,124.56</u>
Report Total (55 Checks):				<u>\$ 268,795.57</u>

Accounts Payable

Checks by Date - Summary by Check Number

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Meridian LLMD No. 1 - Fund 120

Check No	Vendor No	Vendor Name	Check Date	Check Amount
2003782	MGS	M.G.S.	6/5/2024	14,626.00
2003783	RIVTLMA	TLMA Administration- County Of Riverside	6/5/2024	3,833.14
2003784	SCE4	Southern California Edison	6/5/2024	445.11
2003785	BRIGHT	BrightView Landscape Services, Inc.	6/5/2024	1,767.61
2003786	WMWD2	Western Municipal Water District	6/5/2024	6,497.75
2003787	Raceway2	Raceway Ford	6/6/2024	41,776.25
2003788	FRONTIER	Frontier Communications	6/21/2024	5.76
2003789	PHILLIPS	Phillips 66-CO./SYNCB	6/21/2024	283.33
2003790	SCE4	Southern California Edison	6/21/2024	6,758.37
2003791	BRIGHT	BrightView Landscape Services, Inc.	6/21/2024	57,714.00
2003793	RIVTLMA	TLMA Administration- County Of Riverside	6/24/2024	5,887.82
2003794	SCE4	Southern California Edison	6/24/2024	10,698.05
2003795	WMWD	Western Municipal Water District	6/24/2024	427.09
2003797	WMWD2	Western Municipal Water District	6/24/2024	23,280.77
Report Total (14 Checks):				\$ 174,001.05

Accounts Payable

Checks by Date - Summary by Check Number

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March Lifecare Campus CFD 2013 - Fund 140

Check No	Vendor No	Vendor Name	Check Date	Check Amount
4000142	DEGUIRE	DeGuire Weed Abatement	06/21/2024	18,186.00
4000143	SCE4	Southern California Edison	06/21/2024	744.00
4000144	BRIGHT	BrightView Landscape Services, Inc.	06/21/2024	1,250.00
4000146	WMWD2	Western Municipal Water District	06/21/2024	145.00
4000147	Calfire	CAL Fire	06/24/2024	1,135.40
4000148	RIVTLMA	TLMA Administration- County Of Riverside	06/24/2024	310.70
Report Total (6 Checks):				<u>\$ 21,771.10</u>

Accounts Payable

Checks by Date - Summary by Check Number

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March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

Green Acres - Fund 300

Check No	Vendor No	Vendor Name	Check Date	Check Amount
3009521	Montg	Montgomery Plumbing	6/5/2024	5,590.00
3009522	WestCoas	West Coast Arborists, Inc	6/5/2024	460.00
3009523	SouthCou	South County Pest Control, Inc.	6/5/2024	327.00
3009524	WMWD	Western Municipal Water District	6/5/2024	23,793.22
3009525	JanPro	Commerical Cleaning Solutions, Inc.	6/5/2024	200.00
3009526	MARCHUT	March Joint Powers Utility Authority	6/5/2024	25,153.52
3009527	Raceway2	Raceway Ford	6/6/2024	44,859.25
3009528	ABILITY	Ability Counts, Inc.	6/21/2024	13,500.00
3009529	Automate	Automated Gate Services, Inc.	6/21/2024	560.00
3009530	BankofAm	Bank Of America	6/21/2024	399.59
3009531	ChristRo	Christianson Roofing	6/21/2024	3,725.00
3009532	FRONTIER	Frontier Communications	6/21/2024	11.56
3009533	Montg	Montgomery Plumbing	6/21/2024	1,875.00
3009534	PHILLIPS	Phillips 66-CO./SYNCB	6/21/2024	223.11
3009535	SouthCou	South County Pest Control, Inc.	6/21/2024	323.00
3009536	SCE4	Southern California Edison	6/21/2024	853.22
3009537	HOMEDE	Home Depot Credit Services	6/21/2024	352.55
3009538	WASTEM	WM Corporate Services, Inc.	6/21/2024	461.80
3009539	ALPINE	Robert Vernieri	6/21/2024	1,480.00
3009540	Automate	Automated Gate Services, Inc.	6/24/2024	352.00
3009541	StaplesA	Staples Business Credit	6/24/2024	164.95
3009542	WMWD	Western Municipal Water District	6/24/2024	854.15
3009543	TrafficM	Traffic Management Products, Inc.	6/24/2024	158.08
3009544	ALPINE	Robert Vernieri	6/24/2024	3,330.00
Report Total (24 Checks):				<u>\$ 129,007.00</u>

Accounts Payable

Checks by Date - Summary by Check Number

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General Fund - Fund 100

Check No	Vendor No	Vendor Name	Check Date	Check Amount
1017673	FEDEX	FedEx	06/06/2024	31.07
1017674	MGS	M.G.S.	06/06/2024	1,154.38
1017675	PHILLIPS	Phillips 66-CO./SYNCB	06/06/2024	128.16
1017676	AyalaA	Amelia Ayala	06/06/2024	10,497.50
1017677	RogersAn	Rogers ,Anderson, Malody & Scott, LLP	06/06/2024	690.00
1017678	PatrolSe	Patrol Security and Guard	06/06/2024	4,953.50
1017679	RobertHa	Robert Half	06/06/2024	1,108.24
1017680	Rogers	Marita G. Rogers	06/06/2024	100.00
1017681	JanPro	Commerical Cleaning Solutions, Inc.	06/06/2024	890.00
1017682	BESTBE	Best Best & Krieger, LLP	06/21/2024	17,645.70
1017683	FEDEX	FedEx	06/21/2024	243.26
1017684	FRONTIER	Frontier Communications	06/21/2024	92.20
1017685	SPARKLET	Sparkletts	06/21/2024	153.38
1017686	WILLDANS	Willdan	06/21/2024	1,970.00
1017687	CityMVD	City Of Moreno Valley	06/21/2024	30.20
1017688	PatrolSe	Patrol Security and Guard	06/21/2024	3,895.20
1017689	RobertHa	Robert Half	06/21/2024	3,008.27
1017690	WASTEM	WM Corporate Services, Inc.	06/21/2024	276.00
1017691	Raceway2	Raceway Ford	06/25/2024	1,176.94
1017692	StaplesA	Staples Business Credit	06/25/2024	1,402.08
1017693	FARR	Davis Farr	06/25/2024	20,500.00
1017694	WMWD	Western Municipal Water District	06/25/2024	6,833.41
1017695	SoCANews	Southern California News Group	06/25/2024	2,655.23
1017696	PatrolSe	Patrol Security and Guard	06/25/2024	4,390.50
1017697	RobertHa	Robert Half	06/25/2024	2,038.89
1017698	CanonF	Canon Financial Services, Inc.	06/25/2024	2,840.51
1017699	RIVCTYSH	Riverside County Sheriff Department	06/25/2024	8,990.07
1017700	SQUIRE	SQUIRE PATTON BOGGS LLP	06/25/2024	445.50
1017701	VISTA	Vista Environmental Consulting Inc	06/25/2024	1,925.00
1017702	BankofAm	Bank Of America	06/25/2024	11,968.73
1017703	BESTBE	Best Best & Krieger, LLP	06/26/2024	44,785.50
ACH	CabreraU	Ulises Cabrera	06/06/2024	100.00
ACH	CJLake	CJ Lake, LLC	06/06/2024	10,455.88
ACH	ConderJr	Charles Conder Jr.	06/06/2024	400.00
ACH	Delgado	Edward Delgado	06/06/2024	500.00
ACH	DPETER1	David Peterson Abatement Services,LLC	06/06/2024	4,620.00
ACH	VargasM	Michael Vargas	06/06/2024	400.00
ACH	CalPERS	CalPERS	06/10/2024	8,392.42
ACH	BASharaf	BA Sharaf, LLC	06/21/2024	37,163.58
ACH	Computer	California Computer Options, Inc.	06/21/2024	6,429.68
ACH	DTS	Daley Technology Systems	06/21/2024	2,520.00
ACH	The20/20	The 20/20 NETWORK	06/21/2024	1,062.50
ACH	Computer	California Computer Options, Inc.	06/21/2024	546.02
ACH	TRILAK	TRI Lake Consultants Inc.	06/21/2024	2,275.00
ACH	Computer	California Computer Options, Inc.	06/21/2024	333.30
ACH	Computer	California Computer Options, Inc.	06/21/2024	3,731.84
ACH	Computer	California Computer Options, Inc.	06/24/2024	758.72
ACH	CJLake	CJ Lake, LLC	06/25/2024	7,500.00
ACH	Computer	California Computer Options, Inc.	06/25/2024	5,254.33
ACH	CalPERS	CalPERS	06/25/2024	14,215.08
ACH	TRILAK	TRI Lake Consultants Inc.	06/25/2024	450.00
3422	HARTFORD	THE HARTFORD	06/10/2024	692.13

Accounts Payable

Checks by Date - Summary by Check Number

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General Fund - Fund 100

Check No	Vendor No	Vendor Name	Check Date	Check Amount
1017704	ESA	ESA	07/01/2024	2,860.00
1017705	MGS	M.G.S.	07/01/2024	3,035.00
1017706	WILLDANS	Willdan	07/01/2024	3,700.50
1017707	AyalaA	Amelia Ayala	07/01/2024	10,806.25
1017708	KRISTEN	Kristen Brown	07/01/2024	130.00
1017709	Camargo	Cindy Camargo	07/01/2024	187.28
1017710	Rivers	Rivers & Lands Conservancy	07/01/2024	2,148.75
1017711	HBS	Husch Blackwell Strategies LLC	07/01/2024	7,200.00
1017712	MichaelB	Michael Baker International	07/01/2024	11,863.50
1017713	RobertHa	Robert Half	07/01/2024	1,855.63
1017714	BESTBE	Best Best & Krieger, LLP	07/11/2024	36,800.97
1017715	ESA	ESA	07/11/2024	26,655.00
1017716	LOWES	Lowe's Business Account	07/11/2024	143.26
1017717	Minutema	Minuteman Press	07/11/2024	309.15
1017718	PHILLIPS	Phillips 66-CO./SYNCB	07/11/2024	160.22
1017719	SPARKLET	Sparkletts	07/11/2024	109.91
1017720	VRPA	VRPA Technologies, Inc.	07/11/2024	4,006.88
1017721	WILLDANS	Willdan	07/11/2024	54,162.97
1017722	Rivers	Rivers & Lands Conservancy	07/11/2024	975.00
1017723	RogersAn	Rogers ,Anderson, Malody & Scott, LLP	07/11/2024	13,724.00
1017724	MichaelB	Michael Baker International	07/11/2024	6,016.50
1017725	PatrolSe	Patrol Security and Guard	07/11/2024	4,390.50
1017726	RobertHa	Robert Half	07/11/2024	1,235.12
1017727	Rogers	Marita G. Rogers	07/11/2024	100.00
1017728	HOMEDE	Home Depot Credit Services	07/11/2024	16.28
1017729	RIVCTYSH	Riverside County Sheriff Department	07/11/2024	12,490.35
1017730	Minutema	Minuteman Press	07/11/2024	74.77
1017731	Holcomb	Altie Holcomb	07/11/2024	197.50
1017732	William2	Grace Martin	07/11/2024	197.50
1017733	WMWD	Western Municipal Water District	07/11/2024	6,833.41
1017734	BankofAm	Bank Of America	07/22/2024	7,529.55
1017735	SQUIRE	SQUIRE PATTON BOGGS LLP	07/22/2024	5,692.50
1017736	MGS	M.G.S.	07/25/2024	600.00
1017737	StaplesA	Staples Business Credit	07/25/2024	1,413.23
1017738	TROPHIES	Kristy Ailport	07/25/2024	21.75
1017739	RobertHa	Robert Half	07/25/2024	2,366.79
1017740	WASTEM	WM Corporate Services, Inc.	07/25/2024	424.39
1017741	RIVCTYSH	Riverside County Sheriff Department	07/25/2024	21,809.00
ACH	Computer	California Computer Options, Inc.	07/01/2024	8,658.25
ACH	TRILAK	TRI Lake Consultants Inc.	07/01/2024	950.00
ACH	Computer	California Computer Options, Inc.	07/01/2024	236.43
ACH	Computer	California Computer Options, Inc.	07/01/2024	1,549.11
ACH	Computer	California Computer Options, Inc.	07/02/2024	472.85
ACH	CalPERS	CalPERS	07/03/2024	8,392.42
ACH	AlbertA	Albert A. Webb Associates	07/11/2024	265.00
ACH	BASharaf	BA Sharaf, LLC	07/11/2024	30,194.69
ACH	CabreraU	Ulises Cabrera	07/11/2024	300.00
ACH	ConderJr	Charles Conder Jr.	07/11/2024	200.00
ACH	Delgado	Edward Delgado	07/11/2024	500.00
ACH	TRILAK	TRI Lake Consultants Inc.	07/11/2024	2,650.00
ACH	VargasM	Michael Vargas	07/11/2024	200.00
ACH	DTS	Daley Technology Systems	07/11/2024	750.00

Accounts Payable

Checks by Date - Summary by Check Number

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General Fund - Fund 100

Check No	Vendor No	Vendor Name	Check Date	Check Amount
ACH	TRILAK	TRI Lake Consultants Inc.	07/11/2024	3,300.00
ACH	TRILAK	TRI Lake Consultants Inc.	07/11/2024	1,200.00
ACH	CalPERS	CalPERS	07/15/2024	795.60
ACH	HARTFORD	THE HARTFORD	07/15/2024	754.18
ACH	DPETER1	David Peterson Abatement Services,LLC	07/22/2024	9,240.00
ACH	CalPERS	CalPERS	07/22/2024	41,723.24
ACH	Computer	California Computer Options, Inc.	07/22/2024	19.66
ACH	Computer	California Computer Options, Inc.	07/25/2024	2,903.10
ACH	Computer	California Computer Options, Inc.	07/25/2024	171.92
ACH	Computer	California Computer Options, Inc.	07/25/2024	343.84
ACH	AVINSM	Aviation Insurance Mangers Inc.	07/25/2024	9,405.80
ACH	Computer	California Computer Options, Inc.	07/25/2024	399.11
ACH	DTS	Daley Technology Systems	07/30/2024	1,500.00
3427	STCOMPFD	State Compensation Ins. Fund	07/03/2024	3,807.32
3428	SDRMA	SDRMA	07/15/2024	711.33
3431	LINCOLN	The Lincoln National Life Insurance Co.	07/30/2024	1,241.60
3432	STCOMPFD	State Compensation Ins. Fund	07/30/2024	2,205.91
Report Total (69 Checks):				\$ 387,284.77

Accounts Payable

Checks by Date - Summary by Check Number

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Meridian LLMD No. 1 - Fund 120

Check No	Vendor No	Vendor Name	Check Date	Check Amount
2003798	SCE4	Southern California Edison	7/1/2024	5,297.04
2003799	BRIGHT	BrightView Landscape Services, Inc.	7/1/2024	5,580.49
2003800	MGS	M.G.S.	7/11/2024	3,168.31
2003801	PHILLIPS	Phillips 66-CO./SYNCB	7/11/2024	359.93
2003802	SCE4	Southern California Edison	7/11/2024	6,531.86
2003803	WMWD	Western Municipal Water District	7/11/2024	427.09
2003804	WMWD2	Western Municipal Water District	7/11/2024	6,331.12
2003805	RIVTLMA	TLMA Administration- County Of Riverside	7/17/2024	2,937.91
2003806	MGS	M.G.S.	7/25/2024	1,920.00
2003807	RIVTLMA	TLMA Administration- County Of Riverside	7/25/2024	33.13
2003808	SCE4	Southern California Edison	7/25/2024	6,678.79
2003809	BRIGHT	BrightView Landscape Services, Inc.	7/25/2024	57,714.00
2003810	TEAM	Team Sweep	7/25/2024	4,520.00
2003811	TEAM	Team Sweep	7/25/2024	10,170.00
2003812	FRONTIER	Frontier Communications	7/31/2024	6.63
2003813	SCE4	Southern California Edison	7/31/2024	8,733.88
2003814	WMWD2	Western Municipal Water District	7/31/2024	7,674.50
Report Total (17 Checks):				\$ 128,084.68

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
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March Joint Powers Authority
 14205 Meridian Pkwy, Ste. 140
 Riverside, CA 92518
 (951) 656-7000
www.marchjpa.com

March Lifecare Campus CFD 2013 - Fund 140

Check No	Vendor No	Vendor Name	Check Date	Check Amount
4000150	SCE4	Southern California Edison	07/11/2024	647.46
4000151	RIVTLMA	TLMA Administration- County Of Riverside	07/17/2024	284.90
4000152	SCE4	Southern California Edison	07/22/2024	98.88
4000153	TEAM	Team Sweep	07/22/2024	1,640.00
4000154	WMWD2	Western Municipal Water District	07/22/2024	172.84
4000155	BRIGHT	BrightView Landscape Services, Inc.	07/25/2024	1,250.00
4000156	TEAM	Team Sweep	07/25/2024	3,690.00
4000157	SCE4	Southern California Edison	07/31/2024	98.70
Report Total (8 Checks):				<u>\$ 7,882.78</u>

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
 Printed: 8/26/2024 5:03 PM



Green Acres - Fund 300

Check No	Vendor No	Vendor Name	Check Date	Check Amount
3009545	Automate	Automated Gate Services, Inc.	7/2/2024	2,280.00
3009546	SouthCou	South County Pest Control, Inc.	7/2/2024	382.00
3009547	WMWD	Western Municipal Water District	7/2/2024	50,900.56
3009548	ABILITY	Ability Counts, Inc.	7/11/2024	13,500.00
3009549	MGS	M.G.S.	7/11/2024	2,361.65
3009550	SouthCou	South County Pest Control, Inc.	7/11/2024	138.00
3009551	WMWD	Western Municipal Water District	7/11/2024	854.15
3009552	HOMEDE	Home Depot Credit Services	7/11/2024	444.18
3009553	WASTEM	WM Corporate Services, Inc.	7/11/2024	965.31
3009554	MARCHUT	March Joint Powers Utility Authority	7/11/2024	8,203.27
3009555	Automate	Automated Gate Services, Inc.	7/22/2024	120.00
3009556	PHILLIPS	Phillips 66-CO./SYNCB	7/22/2024	193.30
3009557	WestCoas	West Coast Arborists, Inc	7/22/2024	24,500.00
3009558	SouthCou	South County Pest Control, Inc.	7/22/2024	199.00
3009559	SCE4	Southern California Edison	7/22/2024	82.25
3009560	BRIGHT	BrightView Landscape Services, Inc.	7/22/2024	7,943.78
3009561	WMWD2	Western Municipal Water District	7/22/2024	31,668.46
3009562	Montg	Montgomery Plumbing	7/25/2024	1,875.00
3009563	StaplesA	Staples Business Credit	7/25/2024	166.26
3009564	WestCoas	West Coast Arborists, Inc	7/25/2024	2,600.00
3009565	SouthCou	South County Pest Control, Inc.	7/25/2024	650.00
3009566	ChristRo	Christianson Roofing	7/31/2024	4,250.00
3009567	FRONTIER	Frontier Communications	7/31/2024	13.26
3009568	HDFacil	HD Supply Facilities Maintenance, Ltd.	7/31/2024	1,756.70
3009569	Montg	Montgomery Plumbing	7/31/2024	680.00
3009570	Raceway2	Raceway Ford	7/31/2024	102.34
3009571	WestCoas	West Coast Arborists, Inc	7/31/2024	460.00
3009572	SouthCou	South County Pest Control, Inc.	7/31/2024	69.00
3009573	SCE4	Southern California Edison	7/31/2024	932.12
3009574	Compare	Compare Carpets & Hardfloors Inc.	7/31/2024	2,039.72
Report Total (32 Checks):				<u>\$ 211,952.93</u>

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA- Reports, Discussions and Action Items
Agenda Item No. 9 (1)

Meeting Date: September 11, 2024

Report: **RECEIVE AND FILE AN UPDATE FOR THE 452ND AIR MOBILITY WING, AIR FORCE RESERVE COMMAND, BY DEPUTY COMMANDER COLONEL BIREN “OB” OBEROI**

Motion: Move to receive and file an update for the 452nd Air Mobility Wing, Air Force Reserve Command, by Deputy Commander Colonel Biren “OB” Oberoi.

Background:

Colonel Biren Oberoi is the Deputy Commander, 452nd Air Mobility Wing, Air Force Reserve Command, at the March Air Reserve Base. As deputy commander of the Air Force Reserve’s largest wing with more than 4,000 personnel, nine C-17A Globemaster III’s and 14 KC-135R Stratotankers, he directs the support of worldwide airlift and air refueling operations. Col. Oberoi is also responsible for the daily operations of March ARB, which supports active duty, National Guard and Reserve tenants from the Air Force, Army, Navy and Marines as well as Department of Homeland Security personnel with the Air Marine Operations Center.

Col. Oberoi was commissioned in 2000 as a distinguished graduate of the Reserve Officers’ Training Corps (ROTC) program at Georgia Institute of Technology. While on active duty, he served as an exchange instructor pilot with Indian Air Force where he instructed at the Fighter Training Wing. Recently, he served as the exercise director for the largest United States and Indian Air Force interoperability exercise, Exercise COPE INDIA. During this exercise, he led 250 Airmen and multiple mobility and combat aircraft, including the B-1B bomber, to further Indo-Pacific command’s campaign plan.

Col. Oberoi has served as a flight commander and instructor pilot for multiple aircraft and deployed numerous times. Prior to his current assignment, he was an exercise control group director for United States Indo-Pacific Command, Camp H.M. Smith, Hawaii. Col. Oberoi was also an IMA to Air Combat Command Air Operations Squadron, Langley AFB, VA where he controlled delivery of fighter aircraft and managed all aspects of air refueling plans, diverts, and aircraft launches for transoceanic missions. Col. Oberoi is a command pilot with more than 3,700 flying hours, including 1,400 combat hours. He is a South Asia Region Foreign Area Officer and a Hindi speaker. In his civilian capacity, he is a pilot with a major airline.

Attachment: Colonel Biren “OB” Oberoi Bio



COLONEL BIREN OBEROI

COLONEL BIREN OBEROI

Colonel Biren Oberoi is the Deputy Commander, 452nd Air Mobility Wing, Air Force Reserve Command, March Air Reserve Base, Calif. As deputy commander of the Air Force Reserve's largest wing with more than 4,000 personnel, nine C-17A Globemaster III's and 14 KC-135R Stratotankers, he directs the support of worldwide airlift and air refueling operations. Col. Oberoi is also responsible for the daily operations of March ARB, which supports active duty, National Guard and Reserve tenants from the Air Force, Army, Navy and Marines as well as Department of Homeland Security personnel with the Air Marine Operations Center.

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Col. Oberoi has served as a flight commander and instructor pilot for multiple aircraft and deployed numerous times. Prior to his current assignment, he was an exercise control group director for United States Indo-Pacific Command, Camp H.M. Smith, Hawaii. Col. Oberoi was also an IMA to Air Combat Command Air Operations Squadron, Langley AFB, VA where he controlled delivery of fighter aircraft and managed all aspects of air refueling plans, divers, and aircraft launches for transoceanic missions.

Col. Oberoi is a command pilot with more than 3,700 flying hours, including 1,400 combat hours. He is a South Asia Region Foreign Area Officer and a Hindi speaker. In his civilian capacity, he is a pilot with a major airline.

EDUCATION

2000 Bachelor of Science in Mechanical Engineering, Georgia Institute of Technology, Atlanta 2000 Aerospace Basic Course, Maxwell AFB, Ala.

2006 Squadron Officer School, Maxwell AFB, Ala.

2010 Air Command and Staff College, Maxwell AFB, Ala., by correspondence

2010 Masters in Business Administration, University of Phoenix, Ariz.

2021 Air War College, Maxwell AFB, Ala., by correspondence

2023 Joint Combined Warfighting School, Hybrid, Norfolk, Va.

ASSIGNMENTS

1. September 2000-March 2001, Executive Officer, Robins AFB, Ga.
2. March 2001-April 2002, Student, joint specialized undergraduate pilot training, Columbus AFB, Miss.
3. April 2002-April 2005, KC-10A pilot and training officer, Travis AFB, Calif.
4. April 2005-April 2006, KC-10A Aircraft Commander and command post duty officer, Travis AFB, Calif.

5. April 2006-March 2007, exchange instructor pilot, Indian Air Force Training Command, Chennai, India
6. March 2007-January 2009, advanced exchange instructor pilot, Fighter Training Wing, Indian Air Force Training Command, Hyderabad, India
7. January 2009-June 2010, Flight Commander and KC-10A Aircraft Commander, Travis AFB, Calif.
8. June 2010-September 2010, assistant operations officer and KC-10A instructor pilot, Travis AFB, Calif.
9. September 2010-September 2011, wing special projects officer and KC-10A instructor pilot, Travis AFB, Calif.
10. September 2011-March 2012, assistant operations Officer and KC-10A instructor pilot, Travis AFB, Calif.
11. March 2012-January 2017, Flight Commander and KC-10A instructor pilot, Air Force Reserves, Travis AFB, Calif.
12. January 2017-October 2020, delivery control officer, Headquarters Air Combat Command Air Operations Squadron, Langley AFB, Va.
13. October 2020-May 2022, exercise planner, Headquarters U.S. Indo-Pacific Command, Camp H.M. Smith, Hawaii
14. May 2022-September 2023, exercise control group director, Headquarters U.S. Indo-Pacific Command, Camp H.M. Smith, Hawaii
15. October 2023-present, deputy commander, March Air Reserve Base, Calif.

SUMMARY OF JOINT ASSIGNMENTS

1. October 2020-May 2022, exercise planner, Headquarters U.S. Indo-Pacific Command, Camp H.M. Smith, Hawaii, as a lieutenant colonel
2. May 2022-September 2023, exercise control group director, Headquarters U.S. Indo-Pacific Command, Camp H.M. Smith, Hawaii, as a colonel

FLIGHT INFORMATION

Rating: command pilot

Flight hours: more than 3,700, including more than 1,400 combat hours

Aircraft flown: T-37B, T-1A, KC-10A, T-6A, HJT-16

MAJOR AWARDS AND DECORATIONS

Defense Meritorious Service Medal

Meritorious Service Medal with three oak leaf clusters Air Medal with six oak leaf clusters

Aerial Achievement Medal with oak leaf cluster

Air Force Commendation Medal with oak leaf cluster Joint Service Achievement Medal

Air Force Combat Action Medal

Meritorious Unit Award

Air Force Outstanding Unit Award with Valor Device and with eight oak leaf clusters

EFFECTIVE DATES OF PROMOTION

Second Lieutenant August 29, 2000

First Lieutenant Aug. 29, 2002

Captain Aug. 29, 2004

Major Aug. 1, 2010

Lieutenant Colonel April 1, 2017

Colonel May 10, 2022

(Current as of Mar. 2024)



MARCH JOINT POWERS COMMISSION
OF THE
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MJPA- Reports, Discussions and Action Items
Agenda Item No. 9 (2)

Meeting Date: September 11, 2024

Report: **RECEIVE AND FILE AN UPDATE FOR THE AIR AND MARINE OPERATIONS CENTER BY NEIL ‘CLARK’ LANZENDORF, DIRECTOR**

Motion: Move to receive and file an update for the Air and Marine Operations Center (AMOC) by Neil “Clark” Lanzendorf, Director.

Background:

Neil “Clark” Lanzendorf is the Director, Air and Marine Operations Center (AMOC), Air and Marine Operations (AMO), U.S. Customs and Border Protection (CBP). AMO’s mission is to safeguard our nation by anticipating and confronting security threats through our aviation and maritime law enforcement expertise, innovative capabilities, and partnerships at the border and beyond. With approximately 1,800 federal agents and mission support personnel, 240 aircraft, and 300 marine vessels operating throughout the United States, Puerto Rico, and the U.S. Virgin Islands, AMO conducts its mission in the air and maritime environments at and beyond the border and within the nation’s interior.

Director Lanzendorf has 15 years of federal acquisition, contracting and procurement experience. As AMOC Director he is responsible for the day-to-day operations of the center. Director Lanzendorf earned a Bachelor of Science in Political Science from Shepherd University in 2007 and a Master of Business Administration from Liberty University in 2013. In 2019, he graduated from the U.S. Army War College as a Superior Graduate, earning a Master of Strategic Studies. Director Lanzendorf is the recipient of the 2019 Executive Assistant Commissioner’s Award for Excellence in Operational Support and holds Senior Level Federal Acquisition Certifications in Contracting, Contracting Officer’s Representative, and Program Management.

Attachment: Neil “Clark” Lanzendorf Bio

Neil “Clark” Lanzendorf

Director
Air and Marine Operations Center



Neil “Clark” Lanzendorf is the Director, Air and Marine Operations Center (AMOC), Air and Marine Operations (AMO), U.S. Customs and Border Protection (CBP). AMO’s mission is to safeguard our nation by anticipating and confronting security threats through our aviation and maritime law enforcement expertise, innovative capabilities, and partnerships at the border and beyond. With approximately 1,800 federal agents and mission support personnel, 240 aircraft, and 300 marine vessels operating throughout the United States, Puerto Rico, and the U.S. Virgin Islands, AMO conducts its mission in the air and maritime environments at and beyond the border and within the nation’s interior.

Director Lanzendorf has 15 years of federal acquisition, contracting and procurement experience. As the Director, AMOC, he is responsible for the day-to-day operations of the center. The AMOC conducts air and marine surveillance operations, providing direct coordination to AMO; CBP law enforcement officers performing interdiction missions; and other federal, state, and local law enforcement agencies conducting criminal investigations.

Director Lanzendorf began his federal service as a Contract Specialist through the Department of Homeland Security (DHS) Acquisition Professional Career Program, where he completed year-long rotations with the DHS Science and Technology Directorate; Federal Law Enforcement Training Center–Cheltenham; and the U.S. Secret Service. Upon completion of the Acquisition Professional Career Program in 2011, Director Lanzendorf transitioned to the U.S. Secret Service as a Contracting Officer, where he supported a wide range of protective and investigative operations until 2014.

Director Lanzendorf joined AMO in 2014 as a Program Manager in the Tactical Aircraft and Vessel Acquisitions Division, where he supported the Light Enforcement Helicopter and Multi-Role Enforcement Aircraft Programs. Since then, he has served as the Program Manager for the UH-60 Black Hawk, Light Enforcement Helicopter, and Multi-Role Enforcement Aircraft. In 2019, he was selected as Director, Tactical Aircraft and Vessel Acquisitions, proudly serving until October 2022, when he was selected as Director, Acquisitions, for the entire AMO Acquisition Portfolio.

Director Lanzendorf earned a Bachelor of Science in Political Science from Shepherd University in 2007 and a Master of Business Administration from Liberty University in 2013. In 2019, he graduated from the U.S. Army War College as a Superior Graduate, earning a Master of Strategic Studies. Director Lanzendorf is the recipient of the 2019 Executive Assistant Commissioner’s Award for Excellence in Operational Support and holds Senior Level Federal Acquisition Certifications in Contracting, Contracting Officer’s Representative, and Program Management.

MARCH JOINT POWERS COMMISSION
OF THE
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MJPA - Reports, Discussions and Action Items
Agenda Item No. 9 (3)

Meeting Date: September 11, 2024

Report: **TECHNICAL ADVISORY COMMITTEE MEETING**

Motion: Receive and file the monthly Technical Advisory Committee - Regular Meeting report for September 9th, 2024.

Background:

The Technical Advisory Committee (TAC) is comprised of city managers, or designated representatives, from the Cities of Perris, Moreno Valley and Riverside, as well as a representative from the County Administrative Office. Representing Congressman Mark Takano's office as TAC Chair is Tisa Rodriguez.

The TAC's role is to focus on major development issues facing the March JPA. The Commission also appointed the TAC members as the ad-hoc to work with staff on the JPA sunseting process.

On September 9th, the TAC held its regular meeting and received updates that included the following items:

- 1) Riverside County Sheriff's Department Truck Enforcement Discussion;
- 2) Northeast Corner Demolition Bid Update;
- 3) March LifeCare Campus Project Update;
- 4) Airport Master Plan and ALP;
- 5) AP-5 Crack Seal Rehabilitation Project;
- 6) Foreign Trade Zone 244 Annual Report 2023; and
- 7) March Joint Use Airport Operations Update.

The March JPA Commission will receive a meeting summary from TAC Chair Tisa Rodriguez.

Attachment(s): None

MARCH JOINT POWERS COMMISSION
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MJPA- Reports, Discussions and Action Items
Agenda Item No. 9 (4)

Meeting Date: September 11, 2024

Subject: **RECEIVE AND FILE A REPORT ON THE LATEST RIVERSIDE COUNTY SHERIFF’S DEPARTMENT TRUCK ENFORCEMENT**

Motion: Receive and File a Report on the Latest Riverside County Sheriff’s Department Truck Enforcement.

Background:

The Riverside County Sheriff’s Department does commercial traffic enforcement under the existing March JPA/Riverside County Sheriff’s Department contract. Truck route enforcement within the Meridian Business Park has occurred since 2022. Provided below are the dates for each enforcement period by year.

2022

- 01/26/2022 thru 02/03/2022
- 04/07/2022 thru 05/10/2022

2023

- 04/13/2023 thru 04/18/2023
- 05/10/2023 thru 05/11/2023

2024

- 02/21/2024 thru 02/28/2024
- 03/07/2024 thru 03/14/2024
- 04/02/2024 thru 04/26/2024
- 05/16/2024 thru 05/28/2024
- 06/04/2024 thru 06/20/2024

The latest enforcement rounds occurred in April, May and June of this year. Overall, 12 citations for truck route violations were issued. A list of the latest enforcement actions is attached. The goal for 2024 is to have the Sheriff’s Department conduct a minimum of two rounds of enforcement each quarter.

Attachment: Incident Tracking Logs

April 2024

TIME	LOCATION	VIOLATION	DISPOSITION	DEPUTY	COMMENTS
938	OPPORTUNITY X VAN BUREN	PARKING VIOLATION, TWO-WAY TURN LN	WARNING	SEGUIN	WARNED DRIVER TO MOVE TRUCK
959	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1007	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	
1030	VAN BUREN X COYOTE BUSH	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	
1049	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	
1023	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1030	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1018	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	
1037	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	
1110	OPPORTUNITY X VAN BUREN	PARKING VIOLATION, TWO-WAY TURN LN	WARNING	SEGUIN	WARNED DRIVER TO MOVE TRUCK
1202	OPPORTUNITY X VAN BUREN	PARKING VIOLATION, TWO-WAY TURN LN	WARNING	SEGUIN	WARNED DRIVER TO MOVE TRUCK
1237	VAN BUREN X TRAUTWEIN	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1248	VAN BUREN X TRAUTWEIN	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1352	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1405	VAN BUREN X BARTON	21461(a) CVC, FAIL TO OBEY SIGN	WARNING	SEGUIN	DRIVER HAD LOCAL DELIVERY
1420	VAN BUREN X TRAUTWEIN	21461(a) CVC, FAIL TO OBEY SIGN	CITE	SEGUIN	

DATE	TIMES WORKED	HOURS WORKED
4/2/2024	0900-1200	3
4/3/2024	0900-1200	3
4/10/2024	0900-1200	3
4/24/2024	1130-1330	2
4/26/2024	1300-1500	2
	TOTAL HOURS	13

May 2024

TIME	LOCATION	VIOLATION	DISPOSITION	DEPUTY	COMMENTS
45428	CACTUS X MERIDIAN PKWY	4000(a)(1) VC, EXPIRED REGISTRATION	CITE	SLOVER	CITED DRIVER FOR EXPIRED REG
45428	VAN BUREN X BARTON	21461(a) VC, FAIL TO OBEY SIGN VIOL	WARNING	SLOVER	WARNED DRIVER
45428	VAN BUREN X BARTON	4000(a)(1) VC, EXPIRED REGISTRATION	CITE	SLOVER	OWNER'S RESPONSIBILITY CITE
45428	OPPORTUNITY WAY X VAN BU	PARKING VIOLATION	WARNING	SLOVER	WARNED DRIVER TO MOVE TRUCK
45428	VAN BUREN X BARTON	21453(a) VC, RED LIGHT VIOL	CITE	SLOVER	RED LIGHT VIOLATION
45428	VAN BUREN X MERIDIAN PKW	4000(a)(1) VC, EXPIRED REGISTRATION	WARNING	SLOVER	WARNED DRIVER FOR VIOLATION
45428	VAN BUREN X MERIDIAN PKW	4000(a)(1) VC, EXPIRED REGISTRATION	CITE	SLOVER	CITED DRIVER FOR EXPIRED REG
45440	OPPORTUNITY WAY X MERIDIA	PARKING VIOLATION	WARNING	SLOVER	WARNED DRIVER TO MOVE TRUCK
45440	OPPORTUNITY WAY X VAN BU	PARKING VIOLATION	WARNING	SLOVER	WARNED DRIVER TO MOVE TRUCK
45440	VAN BUREN X BARTON	21461(a) VC, FAIL TO OBEY SIGN VIOL	WARNING	SLOVER	LOCAL DELIVERY DRIVER
45440	VAN BUREN X BARTON	12500(a) VC, EXPIRED DL	CITE	SLOVER	CITED DRIVER FOR EXPIRED DL
45440	VAN BUREN X ORANGE TERRA	4000(a)(1) VC, EXPIRED REGISTRATION	CITE	SLOVER	CITED DRIVER FOR EXPIRED REG
45440	VAN BUREN X COYOTE BUSH	12500(a) VC, SUSPENDED DL	CITE	SLOVER	CITED DRIVER AND TOWED VEHICLE

DATE	TIMES WORKED	HOURS WORKED
5/16/2024	1100-1500	4
5/28/2024	0600-1200	6
	TOTAL HOURS	10

June 2024

TIME	LOCATION	VIOLATION	DISPOSITION	DEPUTY	COMMENTS
740	VAN BUREN BL X WOOD RD	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SEGUIN	
814	VAN BUREN BL X TRAUTWEIN	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SEGUIN	
713	OPPORTUNITY WY X MERIDIAN	21460.5(a) VC - MISUSE OF 2-WAY TURN LT	WARNING	SEGUIN	
716	OPPORTUNITY WY X MERIDIAN	21460.5(a) VC - MISUSE OF 2-WAY TURN LT	WARNING	SEGUIN	
725	VAN BUREN BL X COYOTE BUS	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SEGUIN	
740	VAN BUREN BL X BARTON ST	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SEGUIN	
756	VAN BUREN BL X BARTON ST	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SEGUIN	
740	VAN BUREN BL X BARTON ST	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SLOVER	
758	VAN BUREN BL X COYOTE BUS	4000(a)(1) VC - EXPIRED REGISTRATION	WARNING	SLOVER	
842	VAN BUREN BL X COYOTE BUS	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SLOVER	
900	VAN BUREN BL X BARTON ST	21461(a) VC - DISOBEY REGULATORY SIGN	CITE	SLOVER	
629	OPPORTUNITY WY X VAN BUR	PARKING VIOLATION	WARNING	SLOVER	WARNED DRIVER TO MOVE TRUCK
703	OPPORTUNITY WY X VAN BUR	PARKING VIOLATION	WARNING	SLOVER	WARNED DRIVER TO MOVE TRUCK
720	VAN BUREN BL X BARTON ST	21461(a) VC - DISOBEY REGULATORY SIGN	WARNING	SLOVER	LOCAL DRIVER MAKING DELIVERY
827	VAN BUREN BL X TRAUTWEIN	4000(a)(1) VC - EXPIRED REGISTRATION	CITE	SLOVER	
717	OPPORTUNITY WY X MERIDIAN	21460.5(a) VC - MISUSE OF 2-WAY TURN LT	WARNING	SEGUIN	

DATE	TIMES WORKED	HOURS WORKED
6/4/2024	0600-0900	3
6/12/2024	0600-0900	3
6/17/2024	0600-1030	4.5
6/19/2024	0530-1000	4.5
6/20/2024	0600-0800	2
	TOTAL HOURS	17

MARCH JOINT POWERS COMMISSION
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MJPA - Reports, Discussions and Action Items
Agenda Item No. 9 (5)

Meeting Date: September 11, 2024

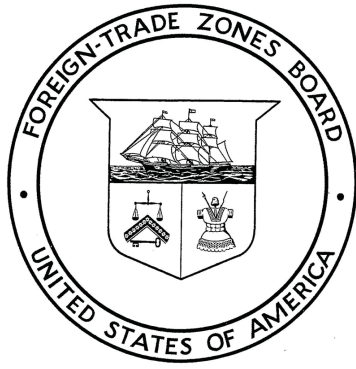
Report: **RECEIVE AND FILE THE FOREIGN TRADE ZONE**
244 ANNUAL REPORT FOR 2023

Motion: Receive and file the Foreign Trade Zone #244 Annual Report for 2023.

Background:

Foreign Trade Zone 244 (FTZ) was established in August 2000. As a requirement of the grant of authority, the March Joint Powers Authority (March JPA) must submit an annual report updating the Foreign Trade Zones Board on the volume of merchandise that was imported to and exported from the zone. The information contained in the FTZ 244 Annual Report covers the period January 1, 2023 through December 31, 2023.

Attachment: The Foreign Trade Zone 244 Annual Report for 2023



85th Annual Report
of the
**Foreign-Trade
Zones Board**
to the Congress
of the United States

U.S. FOREIGN-TRADE ZONES

Foreign-trade zones are secure areas under supervision of U.S. Customs and Border Protection (CBP) that are considered outside the customs territory of the United States for the purposes of duty payment. Located in or near customs ports of entry, they are the U.S. version of what are known internationally as free trade zones. Authority for establishing these facilities is granted by the Foreign-Trade Zones (FTZ) Board under the Foreign-Trade Zones Act of 1934, as amended (19 U.S.C. §§81a-81u), and the Board's regulations (15 C.F.R. Part 400). The Executive Secretariat of the Board is located within Enforcement and Compliance of the U.S. Department of Commerce in Washington, D.C.

Foreign and domestic merchandise may, subject to FTZ Board and CBP regulations, be moved into zones for operations not otherwise prohibited by law involving storage, exhibition, assembly, manufacturing, and processing. All zone activity is subject to public interest review, and all production activity requires a case-by-case review. Under zone procedures, the usual formal customs entry procedure and payment of duties are not required on the foreign merchandise unless and until it enters customs territory for domestic consumption, in which case the importer may have a choice of paying duties either on the original foreign materials or the finished product. Domestic goods moved into a zone for export are considered exported upon entering the zone for purposes of excise tax rebates and drawback. The benefits obtained through FTZ procedures help encourage U.S. activity, employment and value added, often in competition with foreign alternatives. FTZ sites and activities remain within the jurisdiction of federal, state and local governments and agencies.

A foreign-trade zone is created when a local organization, such as a city, county or port authority, applies to the FTZ Board for a grant to establish and operate a zone to serve a specifically defined geographic area. Upon approval of the zone by the FTZ Board, the organization becomes known as the FTZ "grantee". Grantees are then able to submit applications to the FTZ Board to establish FTZ sites or subzones for use by companies in that area. Under the FTZ Act, grantees are required to operate their zones as "public utilities" and provide "uniform treatment under like conditions" to companies using the zone.

The regulations of the Foreign-Trade Zones Board are published in the Code of Federal Regulations at Title 15, Part 400 (15 C.F.R. Part 400), and the regulations of U.S. Customs and Border Protection concerning zones are published in the Code of Federal Regulations at Title 19, Part 146 (19 C.F.R. Part 146). Information on foreign-trade zones is available of the FTZ Web site at: <http://www.trade.gov/ftz>.

For Zone Operations in 2023

85th ANNUAL REPORT of the

**Foreign-Trade
Zones Board**

to the

**Congress
OF THE UNITED STATES**

**SUBMITTED BY THE
FOREIGN-TRADE ZONES BOARD**

August 2024

GINA M. RAIMONDO
Secretary of Commerce

JANET L. YELLEN
Secretary of the Treasury

ALTERNATES

Dawn Shackleford
*Executive Director of Trade Agreements Policy & Negotiations
U.S. Department of Commerce*

Aviva R. Aron-Dine
*Acting Assistant Secretary for Tax Policy
U.S. Department of the Treasury*

Elizabeth Whiteman
Executive Secretary

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INTRODUCTION

This document constitutes the report of the Foreign-Trade Zones (FTZ) Board to the Congress of the United States pursuant to 19 U.S.C. §81p(c). Unless otherwise noted, the data contained in this report pertains to FTZ activity during the 2023 calendar year.

During the year, the FTZ Board received and docketed 66 requests, and issued 73 decisions. The FTZ Board's decisions included the reorganization or expansion of nine zones under the alternative site framework (ASF), as well as decisions on 55 applications and notifications for new or expanded production authority. Under delegated authority, the FTZ Board Staff processed an additional 250 requests that primarily included minor boundary modifications.

There were 200 FTZs active during the year, with a total of 374 active production operations. Over 550,000 persons were employed within 1,300 active FTZ operations during the year. The value of shipments into zones totaled nearly \$949 billion, compared with \$1,011 billion the previous year (Appendix A). About 68 percent of the shipments received at zones involved domestic status merchandise. The levels of domestic status merchandise used by FTZ operations – 80% for production operations and 48% for warehouse/distribution operations – indicates that FTZ activity tends to involve domestic operations that include significant domestic inputs alongside foreign inputs.

Warehouse/distribution operations received nearly \$364 billion in merchandise while production operations received nearly \$585 billion (62 percent of zone activity). The largest industries accounting for zone production activity include the pharmaceutical, oil refining, automotive, electronics, and machinery/equipment sectors. The main foreign-origin products received at zones are listed in Appendix B.

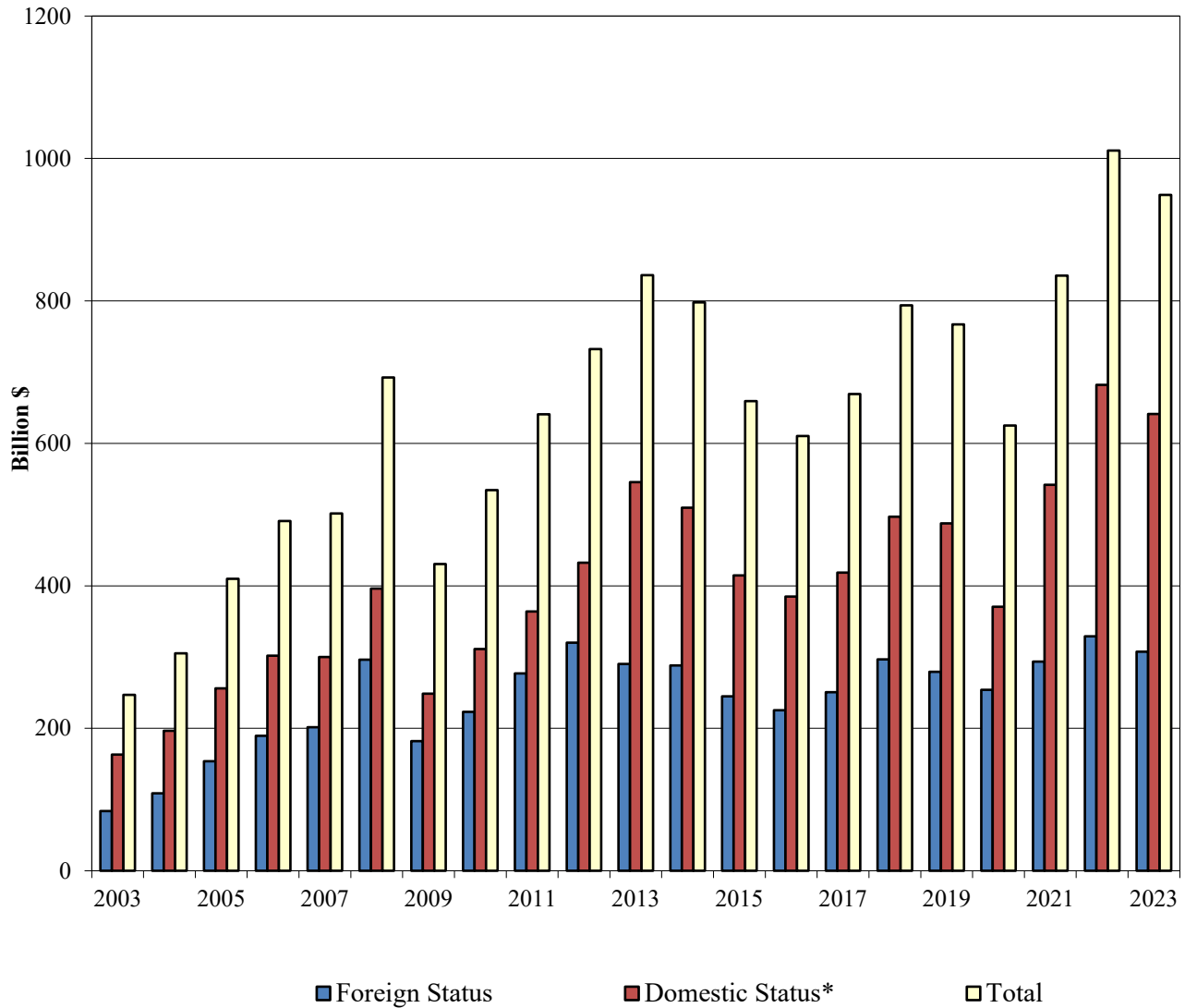
Exports (shipments to foreign countries) from facilities operating under FTZ procedures amounted to nearly \$149 billion (Appendix A). The export figures do not include certain indirect exports involving FTZ merchandise that undergoes further processing in the United States at non-FTZ sites prior to export.

Appendix C contains lists of the Top 25 zones and states for FTZ merchandise received and exported during the year. In addition, information on FTZ activity by state, as well as within each zone, is available in Appendix D.¹

The FTZ Board's notices on applications as well as information on specific zone sites can be found on the FTZ Board's website (www.trade.gov/ftz) under "Online FTZ Information System (OFIS)." In addition, the website contains contact information for each zone, a summary of all Board Orders, lists of Staff-level cases and other reference materials.

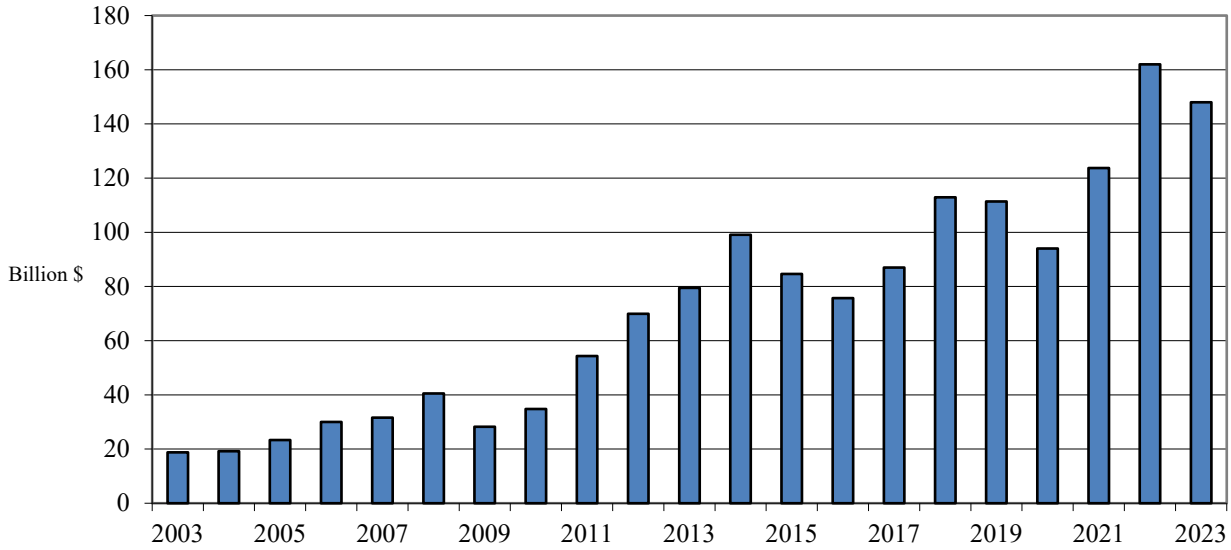
¹ The data by state and by zone in Appendix D is reported in ranges because it incorporates business-proprietary information.

**Figure 1: Merchandise Received
2003-2023**

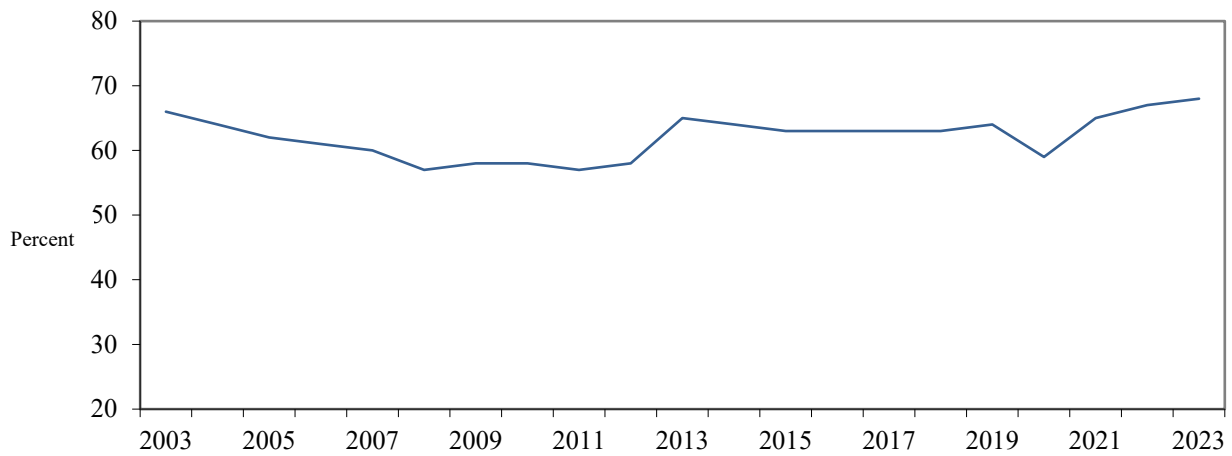


* “Domestic status merchandise” includes both domestic-origin items and foreign-origin items that have been entered for consumption (duty-paid) prior to FTZ admission.

**Figure 2: Exports
(2003-2023)**



**Figure 3: Domestic Status* Merchandise Ratio
(As percent of Total Merchandise Received)
(2003-2023)**



* “Domestic status merchandise” includes both domestic-origin items and foreign-origin items that have been entered for consumption (duty-paid) prior to FTZ admission.

Figure 4: Employment in FTZs by Year (2014-2023)

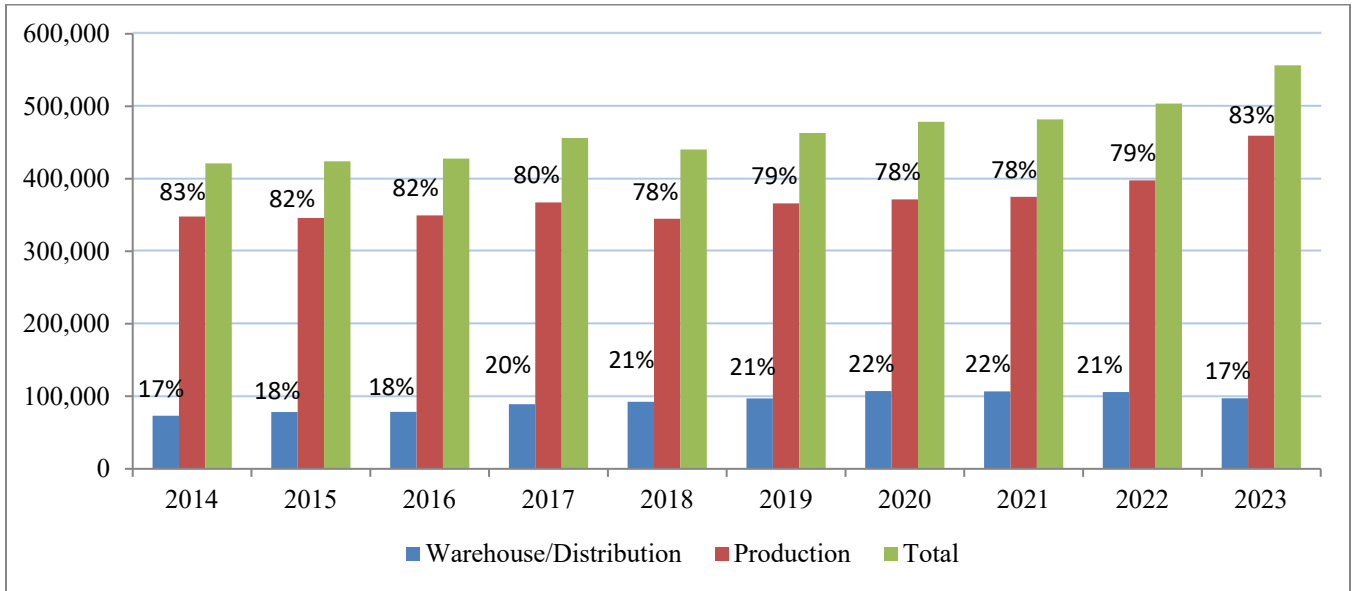
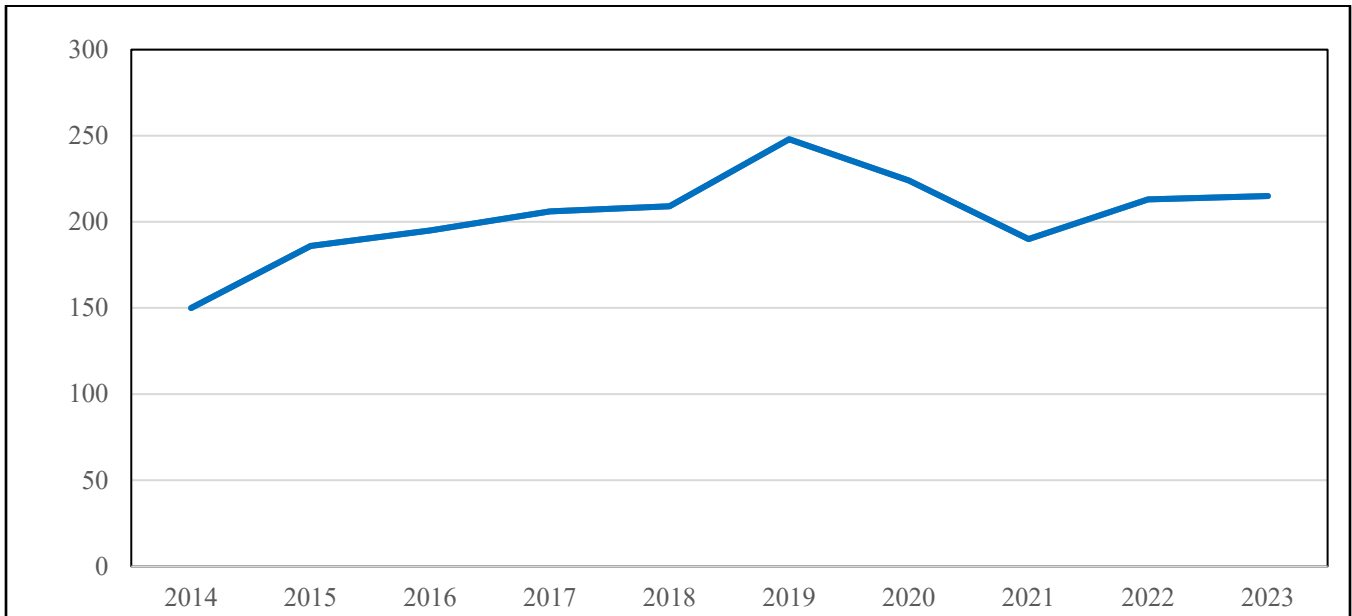


Figure 5: New Subzones/Site Designations (2014-2023)



**APPENDIX A:
SUMMARY STATISTICS
2019 – 2023**

SUMMARY STATISTICS, 2019 – 2023
(\$ billion)

	2019	2020	2021	2022	2023
<i>Merchandise Received</i>	767.0	624.9	835.6	1,011.3	948.8
<i>Warehouse/Distribution</i>	301.1	283.7	369.8	387.4	363.9
<i>Production</i>	465.9	341.2	465.8	623.9	584.9
<i>% Production</i>	61%	55%	56%	62%	62%
<i>Foreign Status Inputs</i>	279.4	254.2	293.7	329.1	307.6
<i>Warehouse/Distribution</i>	167.0	165.0	186.9	200.6	189.8
<i>Production</i>	112.4	89.2	106.8	128.5	117.8
<i>Domestic Status Inputs¹</i>	487.6	370.6	541.9	682.2	641.2
<i>Warehouse/Distribution</i>	134.1	118.6	182.9	186.9	174.1
<i>Production</i>	353.5	252.0	359.0	495.3	467.1
<i>Domestic Status Inputs Ratio</i>	64%	59%	65%	67%	68%
<i>Warehouse/Distribution</i>	45%	42%	49%	48%	48%
<i>Production</i>	76%	74%	77%	79%	80%
<i>Exports²</i>	111.4	94.2	123.6	161.9	148.8
<i>Warehouse/Distribution</i>	39.6	39.4	47.3	56.5	53.0
<i>Production</i>	71.8	54.8	76.3	105.4	95.8
<i>Number of Approved FTZs³</i>	260	261	258	259	261
<i>Active FTZs⁴</i>	193	195	197	197	200

¹ Domestic status merchandise includes both domestic-origin items and foreign-origin items that have been entered for consumption (duty-paid) prior to FTZ admission.

² Export figures are based on material inputs and do not include value added.

³ The number of approved FTZs is the sum of all zones approved by the FTZ Board, minus those that have lapsed or been terminated.

⁴ Active FTZs have at least one site or subzone in operation.

**APPENDIX B:
MAIN FOREIGN-STATUS PRODUCTS
RECEIVED IN U.S. FTZs
2023**

MAIN FOREIGN-STATUS PRODUCTS RECEIVED IN U.S. FTZs
(\$ million)

<u>WAREHOUSE/DISTRIBUTION OPERATORS</u>		<u>PRODUCTION OPERATORS</u>	
Electrical Machinery	33,762	Pharmaceuticals	20,077
Vehicles	30,886	Vehicle Parts	18,081
Consumer Electronics	29,852	Crude Oil	16,740
Other Electronics	17,045	Petroleum Products	15,433
Consumer Products	15,697	Consumer Electronics	10,478
Other Metals/Minerals	15,660	Machinery/Equipment	9,879
Textiles/Footwear	6,594	Vehicles	8,577
Petroleum Products	5,243	Electrical Machinery	1,957
Vehicle Parts	4,244	Chemical Products	1,597
Machinery/Equipment	3,866	Other Electronics	668
Pharmaceuticals	2,343	Iron/Steel	666
Optical, Photographic and Medical Instruments	1,280	Other Metals/Minerals	663
Chemicals	1,022	Aircraft/Spacecraft	645
Beverages/Spirits	976	Consumer Products	432
Ships/Boats	815	Fragrances/Cosmetics	256
Iron/Steel	727	Stone/Plaster/Cement/Ceramics	181
Food Products	562	Textiles/Footwear	147
Plastic/Rubber	525	Optical, Photographic and Medical Instruments	125
Aircraft/Spacecraft	493	Food Products	123
Tobacco Products	191	Plastic/Rubber Products	116
Fragrances/Cosmetics	165	Advanced Fiber Materials	97
Crude Oil	82	Beverages/Spirits	69
Rail Cars, Parts & Equipment	52	Petrochemicals	64
Petrochemical Products	52	Dyes/Pigments/Paints	50
Wood/Paper/Printed Articles	50	Ships/Boats	33
Stone/Plaster/Cement/Ceramics	42	Arms/Ammunition	16
Fats/Oils	31	Wood/Paper/Printed Articles	3
Advanced Fiber Materials	27		
Arms/Ammunition	6		
Dyes/Pigments/Paints	2		

**APPENDIX C:
MERCHANDISE RECEIVED AND
EXPORTS – TOP 25
2023**

MERCHANDISE RECEIVED AND EXPORTS – TOP 25

Top 25 States for FTZ Activity

Merchandise Received

	State/Territory
1	Texas
2	Louisiana
3	California
4	Illinois
5	South Carolina
6	Tennessee
7	New York
8	Kentucky
9	Arizona
10	North Carolina
11	Alabama
12	Pennsylvania
13	Puerto Rico
14	Florida
15	Ohio
16	Indiana
17	Mississippi
18	Washington
19	New Jersey
20	Georgia
21	Maryland
22	Delaware
23	Nevada
24	Hawaii
25	Michigan

Exports

	State/Territory
1	Texas
2	Louisiana
3	California
4	Florida
5	South Carolina
6	Alabama
7	Indiana
8	Puerto Rico
9	North Carolina
10	Mississippi
11	Arizona
12	Tennessee
13	New Mexico
14	Massachusetts
15	Washington
16	Kentucky
17	Pennsylvania
18	New Jersey
19	West Virginia
20	Ohio
21	Georgia
22	Michigan
23	Oregon
24	Missouri
25	New York

Top 25 States by Type of FTZ Activity

Warehouse/Distribution Activity

Production Activity

Merchandise Received

Exports

Merchandise Received

Exports

	State/Territory
1	California
2	Texas
3	Louisiana
4	South Carolina
5	Illinois
6	New York
7	Florida
8	Arizona
9	Pennsylvania
10	Tennessee
11	Georgia
12	Ohio
13	Puerto Rico
14	Maryland
15	New Jersey
16	Kentucky
17	Indiana
18	Washington
19	North Carolina
20	Nevada
21	Alaska
22	Mississippi
23	Michigan
24	Iowa
25	New Mexico

	State/Territory
1	Texas
2	South Carolina
3	Louisiana
4	Florida
5	California
6	Arizona
7	New Mexico
8	Tennessee
9	Indiana
10	Pennsylvania
11	New Jersey
12	Washington
13	Massachusetts
14	Mississippi
15	Hawaii
16	Michigan
17	Alaska
18	Ohio
19	Iowa
20	Georgia
21	North Carolina
22	Minnesota
23	Puerto Rico
24	Maryland
25	Illinois

	State/Territory
1	Texas
2	Louisiana
3	California
4	Alabama
5	North Carolina
6	Kentucky
7	Illinois
8	South Carolina
9	Mississippi
10	Tennessee
11	Indiana
12	Washington
13	Puerto Rico
14	Arizona
15	Ohio
16	New Jersey
17	Pennsylvania
18	Delaware
19	Florida
20	Maryland
21	Nevada
22	Hawaii
23	Georgia
24	Nebraska
25	Colorado

	State/Territory
1	Texas
2	Louisiana
3	Alabama
4	California
5	Puerto Rico
6	Indiana
7	North Carolina
8	Mississippi
9	Florida
10	Tennessee
11	South Carolina
12	Massachusetts
13	Kentucky
14	West Virginia
15	Georgia
16	Oregon
17	Ohio
18	Arizona
19	Missouri
20	Washington
21	Michigan
22	New York
23	New Jersey
24	Pennsylvania
25	Wisconsin

Top 25 by Zone (Warehouse/Distribution Activity)**Merchandise Received**

	Zone	Location
1	124	Gramercy, Louisiana
2	22	Chicago, Illinois
3	202	Los Angeles, California
4	1	New York, New York
5	38	Spartanburg County, South Carolina
6	75	Phoenix, Arizona
7	147	Berks County, Pennsylvania
8	21	Dorchester County, South Carolina
9	138	Franklin County, Ohio
10	78	Nashville, Tennessee
11	84	Houston, Texas
12	74	Baltimore, Maryland
13	50	Long Beach, California
14	62	Brownsville, Texas
15	49	Newark/Elizabeth, New Jersey
16	231	Stockton, California
17	144	Brunswick, Georgia
18	26	Atlanta, Georgia
19	39	DFW Airport, Texas
20	72	Indianapolis, Indiana
21	171	Liberty County, Texas
22	61	San Juan, Puerto Rico
23	29	Louisville, Kentucky
24	272	Lehigh Valley, Pennsylvania
25	25	Broward County, Florida

Exports

	Zone	Location
1	21	Dorchester County, South Carolina
2	124	Gramercy, Louisiana
3	62	Brownsville, Texas
4	171	Liberty County, Texas
5	281	Miami-Dade County, Florida
6	75	Phoenix, Arizona
7	25	Broward County, Florida
8	150	El Paso, Texas
9	197	Dona Ana County, New Mexico
10	202	Los Angeles, California
11	68	El Paso, Texas
12	12	McAllen, Texas
13	135	Palm Beach County, Florida
14	241	Fort Lauderdale, Florida
15	72	Indianapolis, Indiana
16	49	Newark/Elizabeth, New Jersey
17	84	Houston, Texas
18	94	Laredo, Texas
19	143	Sacramento, Texas
20	78	Nashville, Tennessee
21	27	Boston, Massachusetts
22	147	Berks County, Pennsylvania
23	39	DFW Airport, Texas
24	287	Tunica County, Mississippi
25	9	Honolulu, Hawaii

Top 25 Production Operations

Merchandise Received

	Zone	Company
1	93C	Merck Sharp & Dohme LLC
2	149C	Phillips 66 Company
3	84O	ExxonMobil
4	154A	Exxon Corporation
5	124E	Marathon Ashland Petroleum LLC
6	18G	Tesla, Inc.
7	116A	Motiva Enterprises LLC
8	115B	ExxonMobil Oil Corporation
9	38A	BMW Manufacturing Company, LLC
10	199A	Marathon Petroleum Company LP
11	87B	CITGO Petroleum Company LP
12	98A	Mercedes-Benz U.S. International, Inc.
13	92D	Chevron Corp.
14	50H	Marathon Petroleum Company LP
15	202B	Chevron Products Company
16	177B	Toyota Motor Manufacturing
17	3B	Chevron Products Company
18	129A	West Coast Products LLC
19	116C	Premcor Refining Group
20	29E	Toyota Motor Manufacturing Kentucky, Inc.
21	122J	Valero Refining Co.
22	168D	Samsung Electronics America, Inc.
23	222A	Hyundai Motor
24	116B	TotalEnergies Petrochemicals & Refining USA
25	87A	Phillips 66 Company

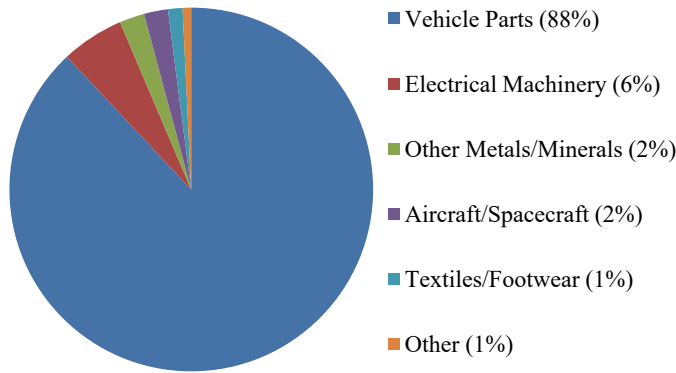
Exports

	Zone	Company
1	98A	Mercedes-Benz U.S. International
2	115B	ExxonMobil Oil Corporation
3	291	Cheniere Energy Partners, LP
4	7K	Lilly del Caribe, Inc.
5	93C	Merck Sharp & Dohme LLC
6	177A	AstraZeneca Pharmaceuticals, LP
7	116C	Premcor Refining Group
8	124E	Marathon Ashland Petroleum LLC
9	122J	Valero Refining Co.
10	116A	Motiva Enterprises LLC
11	149C	Phillips 66 Company
12	92D	Chevron Corporation
13	199A	Marathon Petroleum Company LP
14	87B	CITGO Petroleum Company LP
15	84O	ExxonMobil
16	154A	Exxon Corporation
17	122X	Cheniere Energy, Inc.
18	3B	Chevron Products Company
19	18G	Tesla, Inc.
20	193A	Catalent Pharma Solutions, LLC
21	18F	Lam Research Corporation
22	2J	Valero Refining-Meraux, LLC
23	177B	Toyota Motor Manufacturing
24	196A	TTI, Inc.
25	27R	Wyeth Pharmaceuticals, LLC

**APPENDIX D:
FTZ ACTIVITY BY STATE/TERRITORY
2023**

ALABAMA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	15,001-16,000

FTZ 82, MOBILE
GRANTEE: CITY OF MOBILE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$100-250 mil	\$0	\$25-50 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
82	Airbus Americas, Inc.	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil
82	Aker Solutions	\$75-100 mil	\$100-250 mil	\$250-500 mil
82	M.H. Wirth, LLC	\$0	\$1-5 mil	\$1-5 mil
82I	Outokumpu Stainless USA, LLC	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil
82J	Rohr, Inc.	\$50-75 mil	\$25-50 mil	\$50-75 mil

FTZ 83, HUNTSVILLE
GRANTEE: HUNTSVILLE-MADISON COUNTY AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$1-5 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$1-5 mil	\$250-500 mil

FTZ 98, BIRMINGHAM
GRANTEE: CITY OF BIRMINGHAM

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$5,000-10,000 mil	7,001-8,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$0-.5 mil	\$250-500 mil

Production Activity:

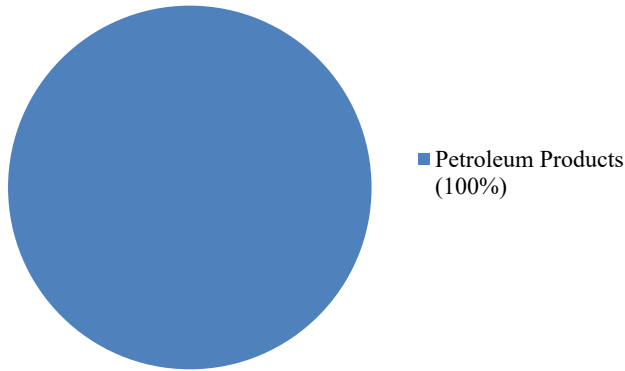
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
98A	Mercedes-Benz U.S. International	\$10,000-25,000 mil	\$5,000-10,000 mil	\$10,000-25,000 mil
98D	Hyster-Yale Group, Inc.	\$75-100 mil	\$1-5 mil	\$75-100 mil
98E	Brose Tuscaloosa, Inc.	\$75-100 mil	\$1-5 mil	\$75-100 mil

<p>FTZ 222, MONTGOMERY GRANTEE: MONTGOMERY AREA CHAMBER OF COMMERCE</p>				
<p>All Activity:</p>				
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>		
<p>\$5,000-10,000 mil</p>	<p>\$250-500 mil</p>	<p>5,001-6,000</p>		
<p>Warehouse/Distribution Activity:</p>				
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>	
<p>0</p>	<p>\$0</p>	<p>\$0</p>	<p>\$0</p>	
<p>Production Activity:</p>				
	<p>COMPANY</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>222A</p>	<p>Hyundai Motor</p>	<p>\$5,000-10,000 mil</p>	<p>\$250-500 mil</p>	<p>\$5,000-10,000 mil</p>

<p>FTZ 233, DOTHAN GRANTEE: DOTHAN-HOUSTON COUNTY FOREIGN-TRADE ZONE, INC.</p>			
<p>All Activity:</p>			
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>	
<p>\$0</p>	<p>\$0</p>	<p>0</p>	

ALASKA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$250-500 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	500-750

FTZ 108, VALDEZ		
GRANTEE: CITY OF VALDEZ		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 160, ANCHORAGE				
GRANTEE: PORT OF ANCHORAGE				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$250-500 mil	501-750		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
1	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
160A	Marathon Petroleum Company LP	\$1,000-5,000 mil	\$5-10 mil	\$1,000-5,000 mil

FTZ 195, FAIRBANKS
GRANTEE: FAIRBANKS ECONOMIC DEVELOPMENT CORP.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

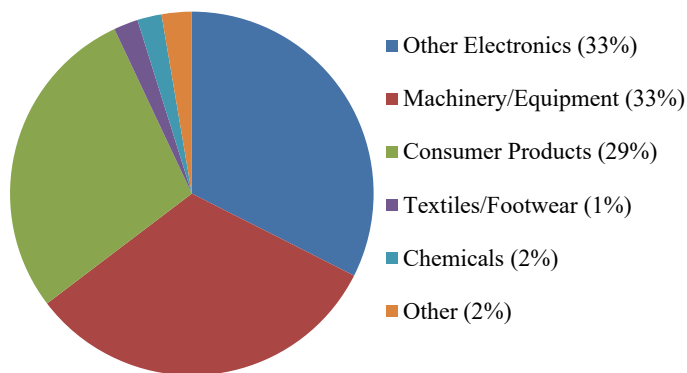
FTZ 232, KODIAK
GRANTEE: KODIAK ISLAND BOROUGH

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

ARIZONA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	75,001-76,000

FTZ 60, NOGALES			
GRANTEE: NOGALES-SANTA CRUZ COUNTY ECONOMIC DEVELOPMENT FOUNDATION, INC.			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$100-250 mil	\$100-250 mil	26-50	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$100-250 mil	\$100-250 mil

FTZ 75, PHOENIX
GRANTEE: CITY OF PHOENIX

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	69,001-70,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
10	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
75	Viavi Solutions, Inc.	\$5-10 mil	\$0	\$1-5 mil
75C	Intel Corporation	\$750-1,000 mil	\$100-250 mil	\$250-500 mil
75E	Abbott Laboratories	\$0-.5 mil	\$0-.5 mil	\$0-.5 mil
75G	SUMCO Southwest Corporation	\$10-25 mil	\$1-5 mil	\$10-25 mil
75H	Microchip Technology Inc.	\$100-250 mil	\$100-250 mil	\$100-250 mil
75J	Honeywell Aerospace, Inc.	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
75N	Lucid Motors USA, Inc.	\$750-1,000 mil	\$100-250 mil	\$500-750 mil
75O	TSMC Arizona Corporation	\$1-5 mil	\$0	\$0
75R	Sunlit Arizona LLC	\$5-10 mil	\$0	\$0

FTZ 139, SIERRA VISTA
GRANTEE: ARIZONA REGIONAL ECONOMIC DEVELOPMENT FOUNDATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 174, PIMA COUNTY
GRANTEE: SUN CORRIDOR INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$0	1,001-1,250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil

FTZ 219, YUMA
GRANTEE: GREATER YUMA ECONOMIC DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$100-250 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$5-10 mil	\$75-100 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
219	Barco Stamping	\$1-5 mil	\$1-5 mil	\$1-5 mil
219B	Gowan Company	\$50-75 mil	\$10-25 mil	\$25-50 mil

FTZ 221, MESA
GRANTEE: CITY OF MESA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$10-25 mil	76-100

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
221A	Apple Inc.	\$1,000-5,000 mil	\$10-25 mil	\$750-1,000 mil

FTZ 277, WESTERN MARICOPA COUNTY
GRANTEE: GREATER MARICOPA FOREIGN TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$25-50 mil	4,001-5,000

Warehouse/Distribution Activity:

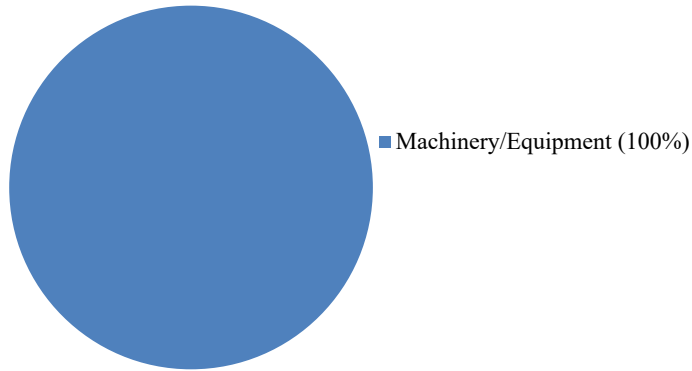
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$1,000-5,000 mil	\$0-.5 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
277	Sub-Zero, Inc.	\$250-500 mil	\$25-50 mil	\$250-500 mil
277	The Cookson Company	\$5-10 mil	\$0	\$1-5 mil
277	Andersen Regional Manufacturing, Inc.	\$10-25 mil	\$0	\$5-10 mil
277	Rauch North America, Inc.	\$250-500 mil	\$5-10 mil	\$250-500 mil
277B	Ball Metal Beverage Container Corporation Inc.	\$500-750 mil	\$0	\$500-750 mil

ARKANSAS

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$250-500 mil
Exports:	\$5-10 mil
Merchandise Forwarded:	\$250-500 mil
Employees:	501-750

FTZ 14, LITTLE ROCK				
GRANTEE: ARKANSAS ECONOMIC DEVELOPMENT COMMISSION				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$75-100 mil	\$0	251-500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
1	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
14F	Husqvarna Forestry Products	\$75-100 mil	\$0	\$75-100 mil

FTZ 273, WEST MEMPHIS
 GRANTEE: CITY OF WEST MEMPHIS PUBLIC FACILITIES BOARD

All Activity:

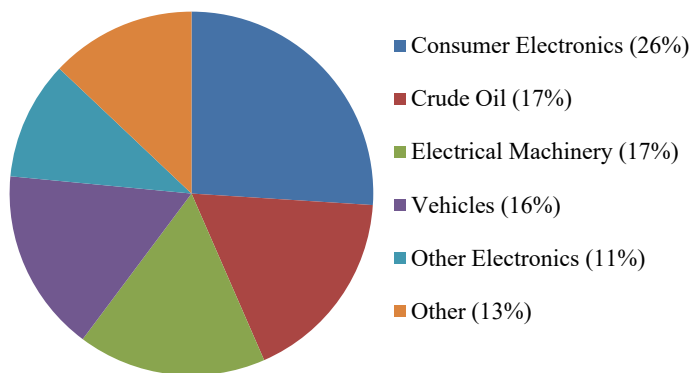
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$5-10 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$5-10 mil	\$100-250 mil

CALIFORNIA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$>100,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$>100,000 mil
Employees:	52,001-53,000

FTZ 3, SAN FRANCISCO				
GRANTEE: SAN FRANCISCO PORT COMMISSION				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$10,000-25,000 mil	\$1,000-5,000 mil	2,001-2,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
4	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3B	Chevron Products Company	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil

FTZ 18, SAN JOSE
GRANTEE: CITY OF SAN JOSE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	31,001-32,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$0	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
18E	Maxar Space LLC	\$25-50 mil	\$25-50 mil	\$25-50 mil
18F	Lam Research Corporation	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil
18G	Tesla, Inc.	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
18I	Bloom Energy Corporation	\$500-750 mil	\$10-25 mil	\$250-500 mil
18M	Epoch International Enterprises Inc.	\$0-.5 mil	\$0-.5 mil	\$0-.5 mil

FTZ 50, LONG BEACH
GRANTEE: BOARD OF HARBOR COMMISSIONERS OF THE PORT OF LONG BEACH

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$750-1,000 mil	9,001-10,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
29	\$5,000-10,000 mil	\$250-500 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
50	Mercedes Benz USA, LLC	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
50H	Marathon Petroleum Company LP	\$10,000-25,000 mil	\$500-750 mil	\$10,000-25,000 mil

FTZ 56, OAKLAND
GRANTEE: CITY OF OAKLAND

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$5-10 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$5-10 mil	\$25-50 mil

FTZ 143, WEST SACRAMENTO
GRANTEE: PORT OF SACRAMENTO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1,000-5,000 mil	\$500-750 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
143D	Mitsubishi Chemical Carbon Fiber and Composites, Inc.	\$25-50 mil	\$0	\$25-50 mil

FTZ 153, SAN DIEGO
GRANTEE: CITY OF SAN DIEGO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$100-250 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
11	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
153D	Topgolf Callaway Brands Corp.	\$5-10 mil	\$0-.5 mil	\$5-10 mil

FTZ 191, PALMDALE
GRANTEE: CITY OF PALMDALE ECONOMIC DEVELOPMENT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$75-100 mil	\$25-50 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$75-100 mil	\$25-50 mil	\$100-250 mil

FTZ 202, LOS ANGELES
GRANTEE: BOARD OF HARBOR COMMISSIONERS OF THE CITY OF LOS ANGELES

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25,000-50,000 mil	\$1,000-5,000 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
29	\$25,000-50,000 mil	\$1,000-5,000 mil	\$25,000-50,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
202B	Chevron Products Company	\$10,000-25,000 mil	\$100-250 mil	\$10,000-25,000 mil

FTZ 205, PORT HUENEME
GRANTEE: BOARD OF HARBOR COMMISSIONERS, OXNARD HARBOR DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$5-10 mil	76-100

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$1,000-5,000 mil	\$5-10 mil	\$1,000-5,000 mil

FTZ 226, MERCED, MADERA & FRESNO COUNTIES
 GRANTEE: BOARD OF SUPERVISORS OF THE COUNTY OF MERCED

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$10-25 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$750-1,000 mil	\$5-10 mil	\$750-1,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
226	Grundfos Pumps Manufacturing	\$100-250 mil	\$10-25 mil	\$100-250 mil
226	Brake Parts Inc.	\$250-500 mil	\$.5-1 mil	\$100-250 mil

FTZ 231, STOCKTON
 GRANTEE: PORT OF STOCKTON

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$0-.5 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$5,000-10,000 mil	\$0-.5 mil	\$5,000-10,000 mil

FTZ 236, PALM SPRINGS
 GRANTEE: CITY OF PALM SPRINGS

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 243, VICTORVILLE
GRANTEE: CITY OF VICTORVILLE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$1-5 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$750-1,000 mil	\$1-5 mil	\$750-1,000 mil

FTZ 244, RIVERSIDE COUNTY
GRANTEE: MARCH JOINT POWERS AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$100-250 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

FTZ 248, EUREKA
GRANTEE: CITY OF EUREKA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 257, IMPERIAL COUNTY
 GRANTEE: COUNTY OF IMPERIAL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$75-100 mil	\$75-100 mil	76-100

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$75-100 mil	\$75-100 mil	\$75-100 mil

FTZ 276, KERN COUNTY
 GRANTEE: KERN COUNTY

All Activity:

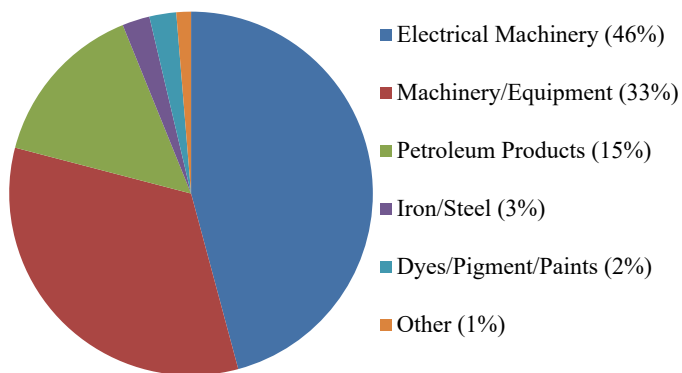
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$75-100 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$75-100 mil	\$250-500 mil

COLORADO

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$75-100 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	251-500

FTZ 112, COLORADO SPRINGS		
GRANTEE: COLORADO SPRINGS FOREIGN-TRADE ZONE, INC.		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 123, DENVER				
GRANTEE: WORLD TRADE CENTER DENVER				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$75-100 mil	251-250		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
3	\$750-1,000 mil	\$75-100 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
123E	Vestas Nacelles America, Inc.	\$1,000-5000 mil	\$1-5 mil	\$100-250 mil
123I	Lexmark International, Inc.	\$1-5 mil	\$1-5 mil	\$1-5 mil
123J	Kaiser Premier LLC	\$10-25 mil	\$0	\$10-25 mil

FTZ 298, JEFFERSON COUNTY
 GRANTEE: JEFFERSON COUNTY ECONOMIC DEVELOPMENT CORPORATION

All Activity:

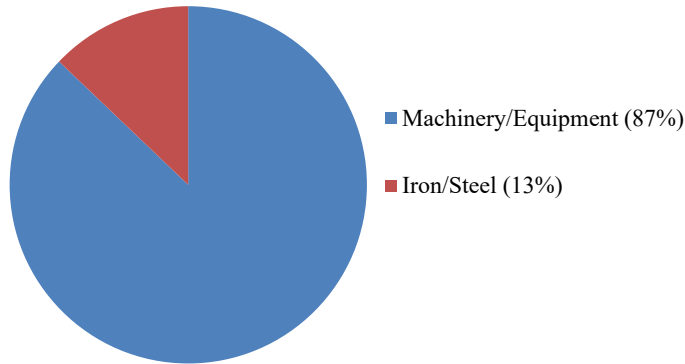
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$0-.5 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$0-.5 mil	\$10-25 mil

CONNECTICUT

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25-50 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$25-50 mil
Employees:	251-500

FTZ 71, WINDSOR LOCKS			
GRANTEE: ECONOMIC AND INDUSTRIAL DEVELOPMENT COMMISSION OF WINDSOR LOCKS			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$25-50 mil	\$0	1-25	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$0	\$25-50 mil

FTZ 76, BRIDGEPORT
GRANTEE: BRIDGEPORT PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5-10 mil	\$0	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
76B	MannKind Corporation	\$5-10 mil	\$0	\$1-5 mil

FTZ 162, NEW HAVEN
GRANTEE: GREATER NEW HAVEN CHAMBER OF COMMERCE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1-5 mil	\$1-5 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1-5 mil	\$1-5 mil	\$1-5 mil

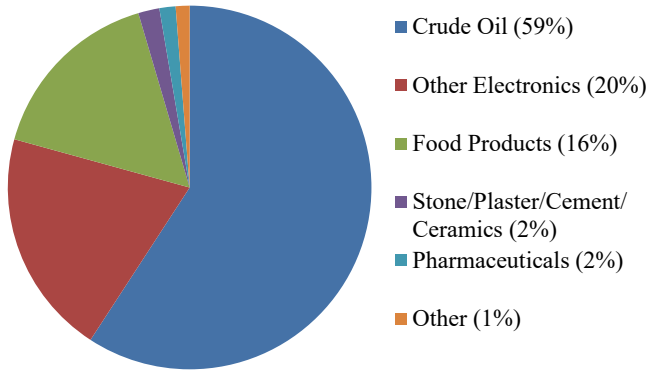
FTZ 208, NEW LONDON
GRANTEE: NEW LONDON FOREIGN TRADE ZONE COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

DELAWARE

TOP FOREIGN-STATUS PRODUCTS BY VALUE

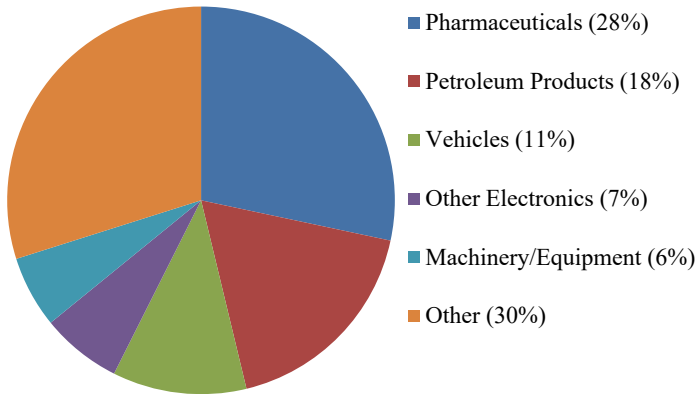


STATE SUMMARY	
Merchandise Received:	\$5,000-10,000 mil
Exports:	\$25-50 mil
Merchandise Forwarded:	\$5,000-10,000 mil
Employees:	2,001-2,500

FTZ 99, WILMINGTON				
GRANTEE: STATE OF DELAWARE				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$5,000-10,000 mil	\$25-50 mil	2,001-2,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$100-250 mil	\$1-5 mil	\$100-250 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
99D	AstraZeneca	\$10-25 mil	\$1-5 mil	\$1-5 mil
99E	Delaware City Refining Company LLC	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
99I	Bloom Energy Corporation	\$250-500 mil	\$25-50 mil	\$100-250 mil

FLORIDA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	10,001-11,000

FTZ 25, BROWARD COUNTY			
GRANTEE: BROWARD COUNTY			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$1,000-5,000 mil	\$1,000-5,000 mil	251-500	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
15	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 32, MIAMI
GRANTEE: GREATER MIAMI FOREIGN TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$250-500 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
37	\$500-750 mil	\$250-500 mil	\$500-750 mil

FTZ 42, ORLANDO
GRANTEE: GREATER ORLANDO AVIATION AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
42A	Mitsubishi Power Systems Americas, Inc.	\$250-500 mil	\$100-250 mil	\$250-500 mil

FTZ 64, JACKSONVILLE
GRANTEE: JACKSONVILLE PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$100-250 mil	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
9	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
64E	Bacardi U.S.A. Inc.	\$75-100 mil	\$50-75 mil	\$75-100 mil

FTZ 65, PANAMA CITY
GRANTEE: PANAMA CITY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$0	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
65A	Eastern Shipbuilding Group	\$100-250 mil	\$0	\$100-250 mil

FTZ 79, TAMPA
GRANTEE: CITY OF TAMPA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$25-50 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
79	Tampa Ship, LLC	\$0-.5 mil	\$0	\$0
79E	Givaudan Flavors Corporation	\$25-50 mil	\$0	\$10-25 mil

FTZ 135, PALM BEACH COUNTY
GRANTEE: PORT OF PALM BEACH DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$1,000-5,000 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$750-1,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 136, BREVARD COUNTY
 GRANTEE: CANAVERAL PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$10-25 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$500-750 mil	\$10-25 mil	\$500-750 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
136	Airbus One Web Satellites	\$25-50 mil	\$1-5 mil	\$75-100 mil

FTZ 166, HOMESTEAD
 GRANTEE: VISION FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 169, MANATEE COUNTY
 GRANTEE: MANATEE COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 193, PINELLAS COUNTY
GRANTEE: PINELLAS COUNTY ECONOMIC DEVELOPMENT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$.5-1 mil	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
193A	Catalent Pharma Solutions, LLC	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 198, VOLUSIA AND FLAGLER COUNTIES
GRANTEE: COUNTY OF VOLUSIA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 213, FORT MYERS
GRANTEE: LEE COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$5-10 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$5-10 mil	\$100-250 mil

FTZ 215, SEBRING
GRANTEE: SEBRING AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 218, ST. LUCIE COUNTY
GRANTEE: ST. LUCIE COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 241, FORT LAUDERDALE
GRANTEE: CITY OF FORT LAUDERDALE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$750-1,000 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
11	\$1,000-5,000 mil	\$750-1,00 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
241	Almod Diamonds LTD., Inc.	\$25-50 mil	\$25-50 mil	\$25-50 mil

FTZ 249, PENSACOLA
GRANTEE: PENSACOLA-ESCAMBIA COUNTY PROMOTION & DEVELOPMENT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$5-10 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$1-5 mil	\$5-10 mil	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
249A	GE Renewables North America, LLC	\$500-750 mil	\$0	\$500-750 mil

FTZ 250, SEMINOLE COUNTY
GRANTEE: SANFORD AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$1-5 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$50-75 mil	\$1-5 mil	\$50-75 mil

FTZ 281, MIAMI-DADE COUNTY
 GRANTEE: MIAMI-DADE COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	2,001-2,500

Warehouse/Distribution Activity:

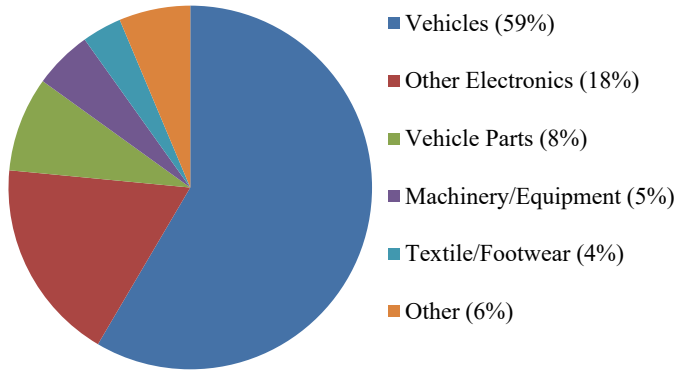
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
73	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
281	Carrier InterAmerica	\$10-25 mil	\$10-25 mil	\$10-25 mil
281	ModusLink Corporation	\$500-750 mil	\$10-25 mil	\$500-750 mil

GEORGIA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$750-1,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	17,001-18,000

FTZ 26, ATLANTA
GRANTEE: GEORGIA FOREIGN TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$500-750 mil	14,001-15,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
20	\$5,000-10,000 mil	\$100-250 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
26	Perkins-Small Engines LLC	\$500-750 mil	\$5-10 mil	\$50-75 mil
26	Makita Corporation of America	\$50-75 mil	\$25-50 mil	\$50-75 mil
26	Nisshinbo Automotive	\$25-50 mil	\$0-.5 mil	\$25-50 mil
26D	Yamaha Motor Manufacturing	\$750-1,000 mil	\$250-500 mil	\$1,000-5,000 mil
26E	Pratt & Whitney	\$.5-1 mil	\$0-.5 mil	\$.5-1 mil
26F	Precision Components International	\$1-5 mil	\$0-.5 mil	\$.5-1 mil
26G	Roper Corporation	\$750-1,000 mil	\$0	\$750-1,000 mil
26H	Ricoh Electronics, Inc.	\$100-250 mil	\$25-50 mil	\$100-250 mil
26K	Janssen Pharmaceuticals, Inc.	\$25-50 mil	\$25-50 mil	\$25-50 mil
26N	Eastman Kodak Company	\$50-75 mil	\$1-5 mil	\$50-75 mil
26P	Kubota North America Corporation	\$750-1,000 mil	\$25-50 mil	\$750-1,000 mil
26Q	Patterson Pump Company	\$100-250 mil	\$25-50 mil	\$100-250 mil

FTZ 104, SAVANNAH
GRANTEE: WORLD TRADE CENTER SAVANNAH, LLC

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$250-500 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
13	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
104	Mitsubishi Power Americas, Inc.	\$100-250 mil	\$100-250 mil	\$250-500 mil
104D	TUMI, Inc.	\$100-250 mil	\$5-10 mil	\$100-250 mil
104E	Firth Rixson Forgings, LLC	\$.5-1 mil	\$0-5 mil	\$1-5 mil
104J	Safe Harbor Savannah Yacht Center	\$25-50 mil	\$25-50 mil	\$25-50 mil

FTZ 144, BRUNSWICK
GRANTEE: BRUNSWICK AND GLYNN COUNTY DEVELOPMENT AUTHORITY

All Activity:

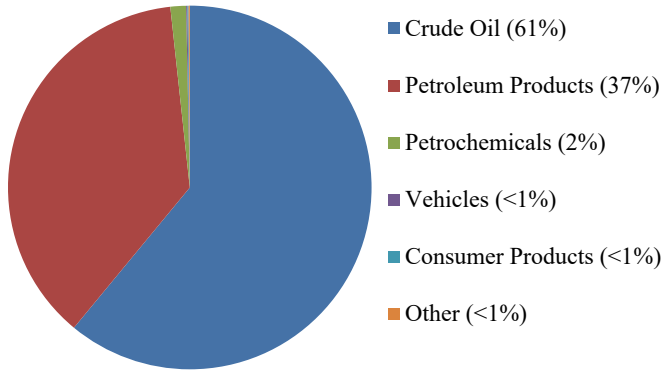
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$50-75 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$5,000-10,000 mil	\$50-75 mil	\$5,000-10,000 mil

HAWAII

TOP FOREIGN-STATUS PRODUCTS BY VALUE

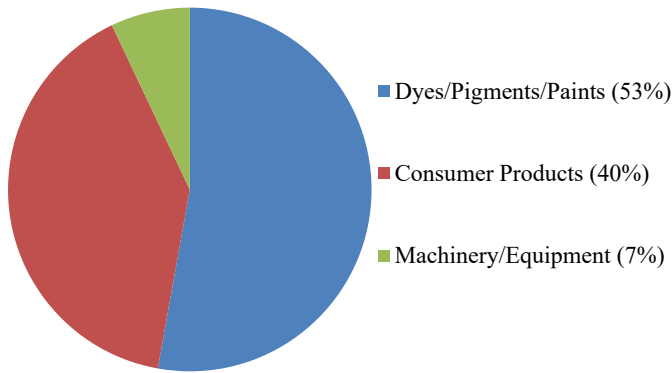


STATE SUMMARY	
Merchandise Received:	\$5,000-10,000 mil
Exports:	\$500-750 mil
Merchandise Forwarded:	\$5,000-10,000 mil
Employees:	3,001-4,000

FTZ 9, HONOLULU				
GRANTEE: STATE OF HAWAII				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$5,000-10,000 mil	\$500-750 mil	3,001-4,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
9	Pacific Allied Products, Ltd.	\$1-5 mil	\$0	\$1-5 mil
9A	Par Hawaii Refining, LLC	\$1,000-5,000 mil	\$50-75 mil	\$1,000-5,000 mil
9E	IES Downstream, LLC	\$750-1,000 mil	\$0	\$750-1,000 mil
9F	Hawai'i Gas	\$50-75 mil	\$0	\$25-50 mil

IDAHO

TOP FOREIGN-STATUS PRODUCTS BY VALUE



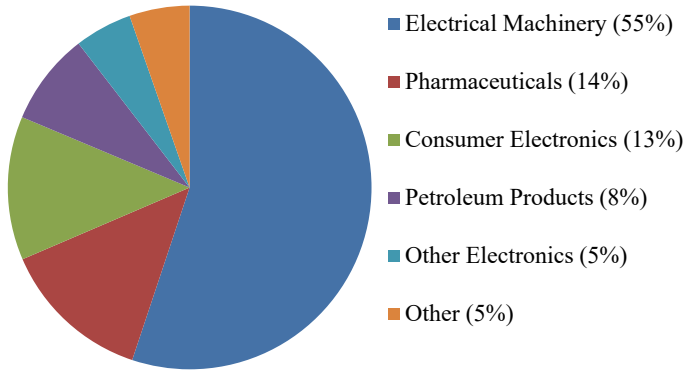
STATE SUMMARY	
Merchandise Received:	\$100-250 mil
Exports:	\$100-250 mil
Merchandise Forwarded:	\$100-250 mil
Employees:	151-250

FTZ 242, BOUNDARY COUNTY GRANTEE: COUNTY OF BOUNDARY		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 280, ADA AND CANYON COUNTIES GRANTEE: IDAHO MANUFACTURING ALLIANCE			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$100-250 mil	\$100-250 mil	151-250	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$100-250 mil	\$100-250 mil

ILLINOIS

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$50,000-75,000 mil
Exports:	\$250-500 mil
Merchandise Forwarded:	\$50,000-75,000 mil
Employees:	22,001-23,000

FTZ 22, CHICAGO
GRANTEE: ILLINOIS INTERNATIONAL PORT DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25,000-50,000 mil	\$100-250 mil	10,001-11,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
26	\$25,000-50,000 mil	\$100-250 mil	\$25,000-50,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
22	Sweets Mix Co.	\$10-25 mil	\$0	\$10-25 mil
22	Nidec Mobility America Corporation	\$50-75 mil	\$0-.5 mil	\$50-75 mil
22	Volflex, Inc.	\$10-25 mil	\$0	\$10-25 mil
22	Weida Freight Systems	\$10-25 mil	\$0	\$1-5 mil
22F	Abbott Laboratories	\$1-5 mil	\$0-.5 mil	\$1-5 mil
22S	AbbVie Inc.	\$5,000-10,000 mil	\$10-25 mil	\$5,000-10,000 mil

FTZ 31, GRANITE CITY
GRANTEE: AMERICA'S CENTRAL PORT DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$10-25 mil	1,001-1,250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$5-10 mil	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
31B	Phillips 66 Company	\$5,000-10,000 mil	\$10-25 mil	\$5,000-10,000 mil
31E	M.M.O. Companies, Inc.	\$0-.5 mil	\$0 mil	\$0 mil

FTZ 114, PEORIA
GRANTEE: ECONOMIC DEVELOPMENT COUNCIL FOR THE PEORIA AREA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$0	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
114F	Bell Sports, Inc.	\$100-250 mil	\$0 mil	\$100-250 mil

FTZ 133, QUAD-CITIES, IOWA/ILLINOIS
 GRANTEE: QUAD CITIES CHAMBER OF COMMERCE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$75-100 mil	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$75-100 mil	\$75-100 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
133D	Deere & Company	\$50-75 mil	\$5-10 mil	\$50-75 mil

FTZ 146, LAWRENCE COUNTY
 GRANTEE: BI-STATE AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$75-100 mil	7,001-8,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
146A	North American Lighting	\$500-750 mil	\$75-100 mil	\$500-750 mil
146D	Marathon Ashland Petroleum LP	\$5,000-10,000 mil	\$1-5 mil	\$5,000-10,000 mil

FTZ 176, ROCKFORD				
GRANTEE: GREATER ROCKFORD AIRPORT AUTHORITY				
All Activity:				
	MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
	\$1,000-5,000 mil	\$75-100 mil	3,001-4,000	
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$25-50 mil	\$0	\$25-50 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
176	Anderson Brecon, Inc.	\$250-500 mil	\$25-50 mil	\$500-750 mil
176	Staal & Plast USA Inc.	\$.5-1 mil	\$0-.5 mil	\$1-5 mil
176E	Mitsubishi Logisnext Americas (Marengo) Inc.	\$250-500 mil	\$50-75 mil	\$250-500 mil
176F	Cellusuede Products, Inc.	\$1-5 mil	\$.5-1 mil	\$1-5 mil
176G	Brake Parts Inc.	\$250-500 mil	\$1-5 mil	\$250-500 mil

FTZ 245, DECATUR				
GRANTEE: ECONOMIC DEVELOPMENT CORPORATION OF DECATUR & MACON COUNTY				
All Activity:				
	MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
	\$25-50 mil	\$0 mil	251-500	
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
245C	Thyssenkrupp Presta Danville, LLC	\$25-50 mil	\$0 mil	\$25-50 mil

FTZ 271, JO-DAVISS & CARROLL COUNTIES
 GRANTEE: JO-CARROLL FOREIGN TRADE ZONE BOARD

All Activity:

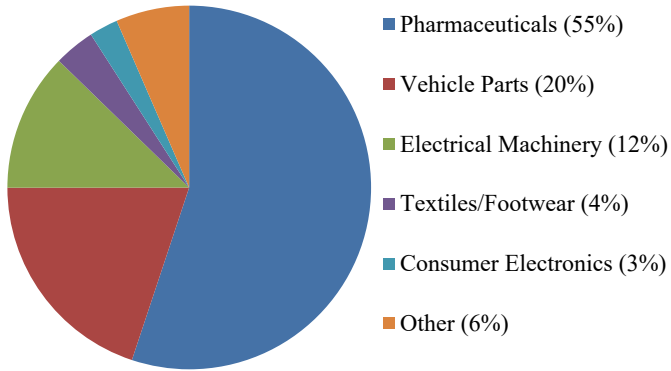
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0	\$0	\$0

INDIANA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	14,001-15,000

FTZ 72, INDIANAPOLIS
GRANTEE: INDIANAPOLIS AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$750-1,000 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
16	\$1,000-5,000 mil	\$750-1,000 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
72	Geodis Logistics LLC	\$25-50 mil	\$10-25 mil	\$25-50 mil
72B	Eli Lilly and Company	\$75-100 mil	\$0	\$75-100 mil
72R	Decatur Mold Tool & Engineering	\$1-5 mil	\$0	\$1-5 mil
72W	Dorel Juvenile Group Inc.	\$25-50 mil	\$0	\$0

FTZ 125, SOUTH BEND
GRANTEE: ST. JOSEPH COUNTY AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$1-5 mil	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
125	Lionshead Tire and Wheel	\$0-.5 mil	\$1-5 mil	\$1-5 mil
125D	ASA Electronics LLC	\$25-50 mil	\$1-5 mil	\$25-50 mil
125E	Thor Motor Coach, Inc.	\$50-75 mil	\$0	\$100-250 mil
125F	Midwest Automotive Designs	\$100-250 mil	\$0	\$100-250 mil

FTZ 152, BURNS HARBOR
GRANTEE: PORTS OF INDIANA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$5-10 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$5-10 mil	\$50-75 mil

FTZ 170, CLARK COUNTY
GRANTEE: PORTS OF INDIANA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	101-150

FTZ 177, EVANSVILLE
GRANTEE: PORTS OF INDIANA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	9,001-10,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
177	Best Home Furnishings	\$5-10 mil	\$0	\$10-25 mil
177A	AstraZeneca Pharmaceuticals	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil
177B	Toyota Motor Manufacturing	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil

FTZ 182, FORT WAYNE
GRANTEE: CITY OF FORT WAYNE

All Activity:

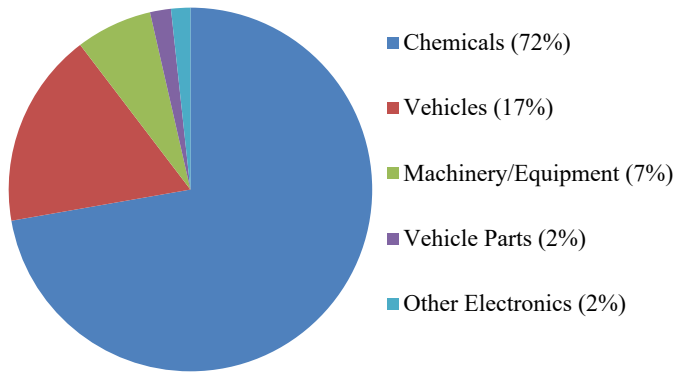
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$10-25 mil	51-75

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$10-25 mil	\$100-250 mil

IOWA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$250-500 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	7,001-8,000

FTZ 107, POLK COUNTY
GRANTEE: THE IOWA FOREIGN TRADE ZONE CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$100-250 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
107A	Winnebago Industries, Inc.	\$500-750 mil	\$25-50 mil	\$250-500 mil

FTZ 133, QUAD-CITIES, IOWA/ILLINOIS
GRANTEE: QUAD CITIES CHAMBER OF COMMERCE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$75-100 mil	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$75-100 mil	\$75-100 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
133D	Deere & Company	\$50-75 mil	\$5-10 mil	\$50-75 mil

FTZ 175, CEDAR RAPIDS
GRANTEE: CEDAR RAPIDS AIRPORT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$0	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
175A	Deere & Company	\$250-500 mil	\$0	\$250-500 mil

FTZ 288, NORTHWEST IOWA
GRANTEE: NORTHWEST IOWA DEVELOPMENT CORPORATION

All Activity:

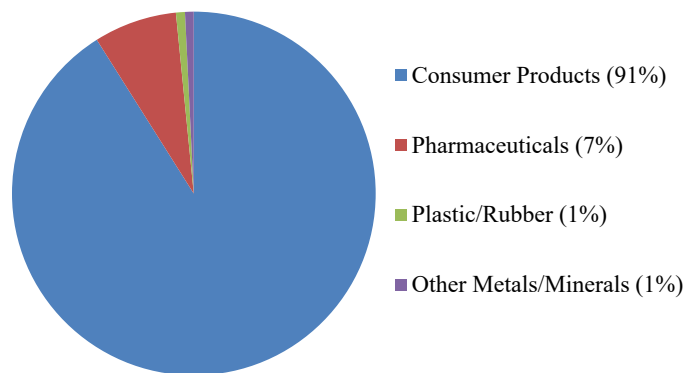
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$5-10 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$5-10 mil	\$25-50 mil

KANSAS

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$250-500 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$500-750 mil
Employees:	2,001-2,500

FTZ 17, KANSAS CITY			
GRANTEE: GREATER KANSAS CITY FTZ, INC.			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$250-500 mil	\$1-5 mil	501-750	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$1-5 mil	\$250-500 mil

FTZ 161, SEDGWICK COUNTY
GRANTEE: BOARD OF COMMISSIONERS OF SEDGWICK COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$0	1,501-2,000

Warehouse/Distribution Activity:

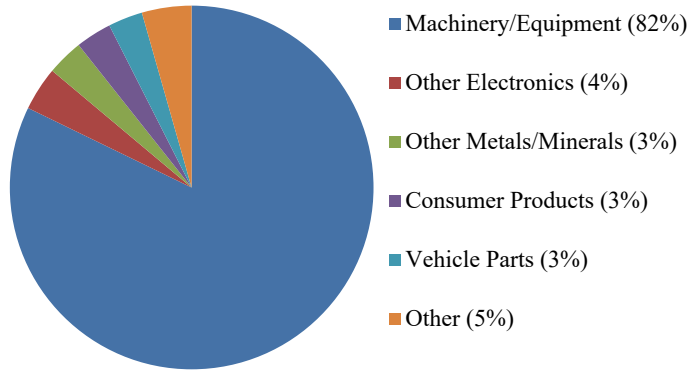
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
161A	Hospira Inc.	\$100-250 mil	\$0	\$100-250 mil

KENTUCKY

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	26,001-27,000

FTZ 29, LOUISVILLE				
GRANTEE: LOUISVILLE & JEFFERSON COUNTY RIVERPORT AUTHORITY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$10,000-25,000 mil	\$1,000-5,000 mil	25,001-26,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
14	\$1,000-5,000 mil	\$75-100 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
29	Workwell Industries, Inc.	\$10-25 mil	\$10-25 mil	\$10-25 mil
29C	Haier US Appliance Solutions, Inc.	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil
29D	Lexmark International, Inc.	\$0-.5 mil	\$0	\$0-.5 mil
29E	Toyota Motor Manufacturing	\$5,000-10,000 mil	\$500-750 mil	\$5,000-10,000 mil
29F	Hitachi Astemo Americas, Inc.	\$1,000-5,000 mil	\$100-250 mil	\$500-750 mil
29I	Hyster-Yale Group, Inc.	\$500-750 mil	\$0 mil	\$250-500 mil
29J	LLFlex, LLC	\$75-100 mil	\$5-10 mil	\$75-100 mil
29K	Dow Silicones Corporation	\$1,000-5,000 mil	\$75-100 mil	\$1,000-5,000 mil
29L	North American Stainless	\$50-75 mil	\$0	\$50-75 mil

FTZ 47, BOONE COUNTY
 GRANTEE: GREATER CINCINNATI FTZ, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$100-250 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$500-750 mil	\$1-5 mil	\$750-1,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
47C	GE Engine Services Distribution LLC	\$5,000-10,000 mil	\$100-250 mil	\$5,000-10,000 mil
47D	Valeo North America, Inc.	\$50-75 mil	\$10-25 mil	\$50-75 mil

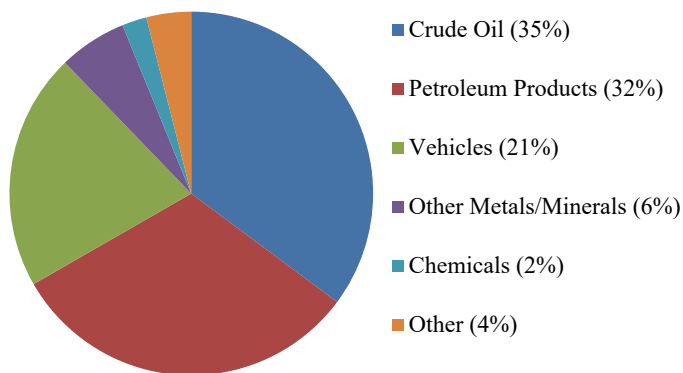
FTZ 294, WESTERN KENTUCKY
 GRANTEE: PADUCAH McCRACKEN COUNTY RIVERPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

LOUISIANA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	>\$100,000 mil
Exports:	\$10,000-25,000 mil
Merchandise Forwarded:	>\$100,000 mil
Employees:	18,001-19,000

FTZ 2, NEW ORLEANS				
GRANTEE: BOARD OF COMMISSIONERS OF THE PORT OF NEW ORLEANS				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$10,000-25,000 mil	\$1,000-5,000 mil	1,501-2,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
9	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2H	Chalmette Refining LLC	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil
2J	Valero Refining-Meraux LLC	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 87, LAKE CHARLES
GRANTEE: LAKE CHARLES HARBOR & TERMINAL DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	3,001-4,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
87A	Phillips 66 Company	\$5,000-10,000 mil	\$250-500 mil	\$5,000-10,000 mil
87B	CITGO Petroleum Corporation	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
87C	Halliburton Energy Services	\$10-25 mil	\$0	\$10-25 mil

FTZ 124, GRAMERCY
GRANTEE: PORT OF SOUTH LOUISIANA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50,000-75,000 mil	\$10,000-25,000 mil	5,001-6,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$25,000-50,000 mil	\$5,000-10,000 mil	\$25,000-50,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
124A	Valero Refining-New Orleans, LLC	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil
124B	North American Shipbuilding LLC	\$25-50 mil	\$0	\$10-25 mil
124E	Marathon Ashland Petroleum LLC	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
124H	Bollinger Shipyards, Inc	\$75-100 mil	\$0	\$75-100 mil
124K	M-I, LLC	\$10-25 mil	\$0	\$10-25 mil
124M	Baker Hughes, Inc	\$10-25 mil	\$0	\$5-10 mil
124O	Halliburton Energy Services	\$10-25 mil	\$0	\$10-25 mil
124T	Offshore Energy Services, Inc.	\$0	\$0	\$.5-1 mil

FTZ 145, SHREVEPORT
GRANTEE: CADDO-BOSSIER PARISHES PORT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$0	76-100

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$750-1,000 mil	\$0	\$750-1,000 mil

FTZ 154, BATON ROUGE
GRANTEE: GREATER BATON ROUGE PORT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	5,001-6,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
154A	Exxon Corporation	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
154B	Syngenta Crop Protection LLC	\$25-50 mil	\$25-50 mil	\$50-75 mil

FTZ 261, ALEXANDRIA
GRANTEE: ENGLAND ECONOMIC & INDUSTRIAL DEVELOPMENT DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 279, TERREBONNE PARISH
GRANTEE: HOUMA-TERREBONNE AIRPORT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$10-25 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
279	Bollinger Houma Shipyards, LLC	\$50-75 mil	\$0	\$0
279	Deepwater Riser Services, LLC	\$10-25 mil	\$10-25 mil	\$10-25 mil
279A	Thoma-Sea Marine Constructors, LLC	\$50-75 mil	\$0	\$75-100 mil

FTZ 291, CAMERON PARISH
GRANTEE: CAMERON PARISH PORT, HARBOR AND TERMINAL DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$5,000-10,000 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
291	Cheniere Energy Partners, LP	\$5,000-10,000 mil	\$5,000-10,000 mil	\$5,000-10,000 mil

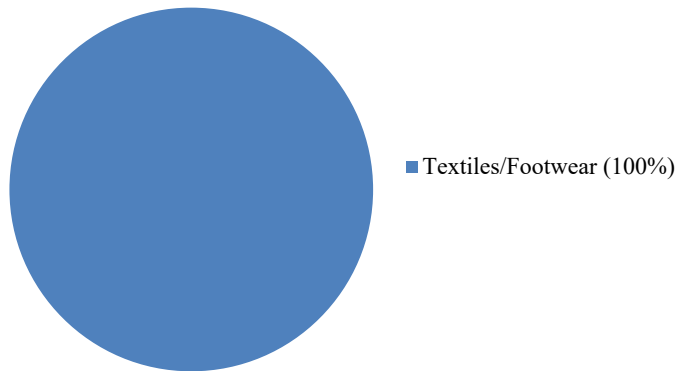
FTZ 300, PLAQUEMINES PARISH
GRANTEE: PLAQUEMINES PORT, HARBOR & TERMINAL DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

MAINE

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10-25 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$10-25 mil
Employees:	101-150

FTZ 58, BANGOR		
GRANTEE: CITY OF BANGOR		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 179, MADAWASKA		
GRANTEE: MADAWASKA FOREIGN TRADE ZONE CORPORATION		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 186, WATERVILLE
GRANTEE: CITY OF WATERVILLE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$1-5 mil	101-150

Warehouse/Distribution Activity:

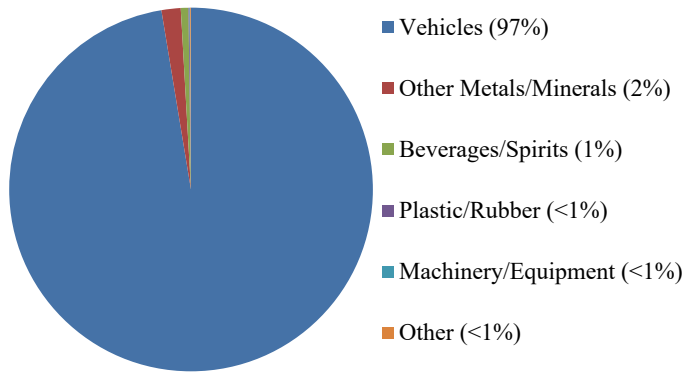
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
186A	Flemish Master Weavers	\$10-25 mil	\$1-5 mil	\$10-25 mil

MARYLAND

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$100-500 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	751-1,000

FTZ 63, PRINCE GEORGE'S COUNTY GRANTEE: PRINCE GEORGE'S COUNTY GOVERNMENT		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 73, BWI AIRPORT GRANTEE: MARYLAND DEPARTMENT OF TRANSPORTATION				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$75-100 mil	\$10-25 mil	1-25		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
73	The Belt's Corporation	\$50-75 mil	\$0	\$25-50 mil
73B	Northrop Grumman Corporation	\$10-25 mil	\$10-25 mil	\$10-25 mil

FTZ 74, BALTIMORE
GRANTEE: CITY OF BALTIMORE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$100-250 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
12	\$5,000-10,000 mil	\$100-250 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
74	Mercedes Benz USA, LLC	\$1,000-5,000 mil	\$0	\$5,000-10,000 mil
74	The Belt's Corporation	\$0-.5 mil	\$0	\$0-.5 mil

FTZ 255, WASHINGTON COUNTY
GRANTEE: BOARD OF COUNTY COMMISSIONERS OF WASHINGTON COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1-5 mil	\$0	101-150

Warehouse/Distribution Activity:

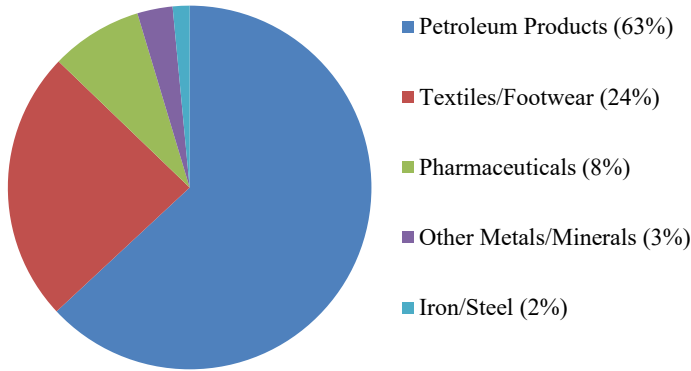
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
255	Lenox Corporation	\$1-5 mil	\$0	\$5-10 mil

MASSACHUSETTS

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	4,001-5,000

FTZ 27, BOSTON
GRANTEE: MASSACHUSETTS PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	3,001-4,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$1,000-5,000 mil	\$500-750 mil	\$1000-5000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
27N	Claremont Flock	\$0	\$0-.5 mil	\$0-.5 mil
27P	Waters Technologies Corporation	\$1-5 mil	\$1-5 mil	\$1-5 mil
27R	Wyeth Pharmaceuticals, LLC	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 28, NEW BEDFORD
GRANTEE: CITY OF NEW BEDFORD

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$0-.5 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
28F	Acushnet Company	\$50-75 mil	\$0-.5 mil	\$50-75 mil

FTZ 201, HOLYOKE
GRANTEE: HOLYOKE ECONOMIC DEVELOPMENT AND INDUSTRIAL CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$10-25 mil	251-500

Warehouse/Distribution Activity:

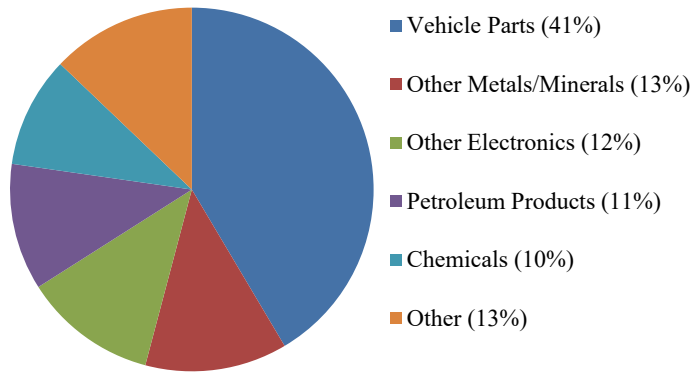
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
201D	ProAmpac Holdings, Inc.	\$100-250 mil	\$10-25 mil	\$100-250 mil

MICHIGAN

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$750-1,000 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	8,001-9,000

FTZ 16, SAULT STE. MARIE		
GRANTEE: SAULT STE. MARIE ECONOMIC DEVELOPMENT CORPORATION		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 43, BATTLE CREEK
GRANTEE: CITY OF BATTLE CREEK

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$250-500 mil	5,001-6,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$50-75 mil	\$5-10 mil	\$25-50 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
43D	Perrigo Company	\$500-750 mil	\$5-10 mil	\$750-1,000 mil
43E	Pfizer Inc.	\$750-1,000 mil	\$250-500 mil	\$1,000-5,000 mil
43G	Zoetis Services LLC	\$75-100 mil	\$1-5 mil	\$50-75 mil
43H	DENSO Manufacturing Michigan, Inc.	\$100-250 mil	\$0	\$100-250 mil

FTZ 70, DETROIT
GRANTEE: GREATER DETROIT FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$250-500 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
18	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
70	Fluid Equipment Development Company LLC	\$10-25 mil	\$5-10 mil	\$10-25 mil
70	Pacific Industrial Development Corporation	\$1-5 mil	\$1-5 mil	\$1-5 mil
70U	Wacker Chemical Corporation	\$100-250 mil	\$25-50 mil	\$100-250 mil
70X	Brose New Boston, Inc.	\$25-50 mil	\$.5-1 mil	\$25-50 mil

FTZ 140, FLINT
GRANTEE: CITY OF FLINT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 189, KENT/OTTAWA/MUSKEGON COUNTIES
GRANTEE: KOM FOREIGN TRADE ZONE AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$0	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$0	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
189F	GHSP Inc.	\$10-25 mil	\$0	\$10-25 mil

FTZ 210, ST. CLAIR COUNTY
GRANTEE: ECONOMIC DEVELOPMENT ALLIANCE OF ST. CLAIR COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

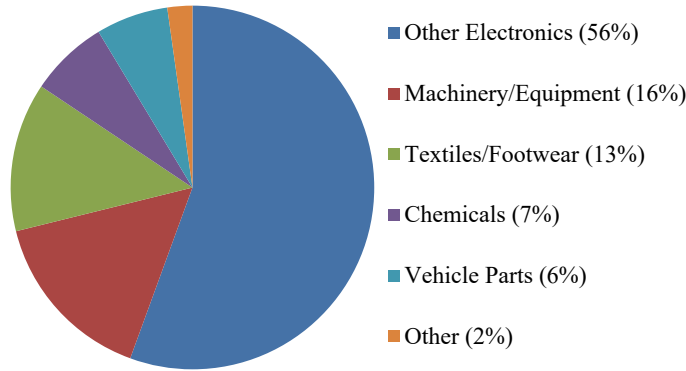
FTZ 275, LANSING
GRANTEE: CAPITAL REGION AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

MINNESOTA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$100-250 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	5,001-6,000

FTZ 51, DULUTH
GRANTEE: DULUTH SEAWAY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$50-75 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$50-75 mil	\$50-75 mil	\$50-75 mil

FTZ 119, MINNEAPOLIS-ST. PAUL
GRANTEE: GREATER METROPOLITAN AREA FTZ COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$75-100 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$250-500 mil	\$50-75 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
119G	SICK Product & Competence Center Americas, LLC	\$10-25 mil	\$0	\$10-25 mil
119J	MAT Industries, Inc.	\$10-25 mil	\$0	\$10-25 mil
119M	AGCO Corporation	\$100-250 mil	\$10-25 mil	\$100-250 mil

FTZ 259, KOCHICHING COUNTY
GRANTEE: KOCHICHING ECONOMIC DEVELOPMENT AUTHORITY

All Activity:

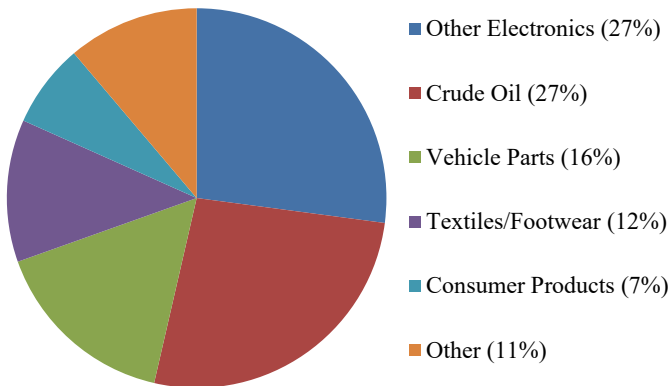
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$50-75 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$750-1,000 mil	\$50-75 mil	\$750-1,000 mil

MISSISSIPPI

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	28,001-29,000

FTZ 92, HARRISON COUNTY				
GRANTEE: MISSISSIPPI COAST FOREIGN-TRADE ZONE, INC.				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$10,000-25,000 mil	\$1,000-5,000 mil	17,001-18,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
92	Gulf Ship, LLC	\$25-50 mil	\$0	\$0
92A	VT Halter Marine, Inc.	\$100-250 mil	\$0	\$50-75 mil
92B	Huntington Ingalls Industries	\$25-50 mil	\$0	\$100-250 mil
92D	Chevron Corporation	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil

FTZ 158, VICKSBURG/JACKSON
GRANTEE: GREATER MISSISSIPPI FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$250-500 mil	9,001-10,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$250-500 mil	\$.5-1 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
158	H.M. Richards	\$100-250 mil	\$1-5 mil	\$100-250 mil
158	Morgan Fabrics	\$5-10 mil	\$.5-1 mil	\$5-10 mil
158	MTD Products	\$100-250 mil	\$5-10 mil	\$100-250 mil
158	International Converter, LLC	\$10-25 mil	\$5-10 mil	\$10-25 mil
158	Traxys Processing, Inc.	\$10-25 mil	\$.5-1 mil	\$10-25 mil
158D	Nissan North America, Inc.	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil
158F	Max Home, LLC	\$25-50 mil	\$0-.5 mil	\$25-50 mil
158G	Southern Motion, Inc.	\$10-25 mil	\$0	\$5-10 mil

FTZ 262, SOUTHAVEN
GRANTEE: NORTHERN MISSISSIPPI FTZ, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$25-50 mil	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	\$750-1,000 mil	\$25-50 mil	\$1,000-5,000 mil

FTZ 287, TUNICA COUNTY
 GRANTEE: TUNICA COUNTY

All Activity:

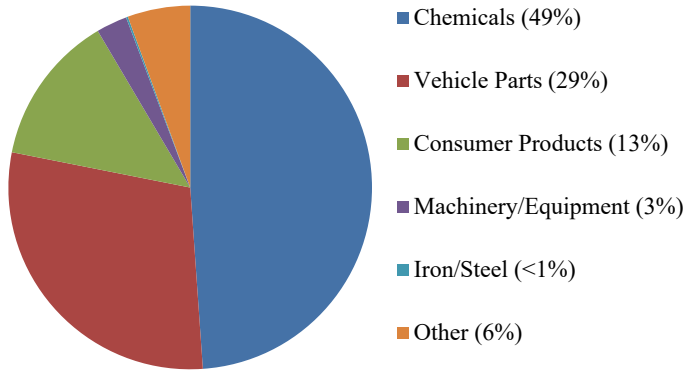
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$250-500 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$500-750 mil	\$250-500 mil	\$500-750 mil

MISSOURI

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$500-750 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	2,501-3,000

**FTZ 15, KANSAS CITY
GRANTEE: GREATER KANSAS CITY FTZ, INC.**

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$100-250 mil	\$1-5 mil	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
15	Oregon Tool, Inc.	\$75-100 mil	\$0	\$100-250 mil
15D	Bayer CropScience, LLC	\$500-750 mil	\$500-750 mil	\$500-750 mil
15E	Kawasaki Motors Manufacturing Corp.	\$100-250 mil	\$5-10 mil	\$100-250 mil
15K	Moly-Cop USA LLC	\$100-250 mil	\$75-100 mil	\$100-250 mil

FTZ 102, ST. LOUIS
GRANTEE: ST. LOUIS COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$25-50 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$25-50 mil	\$250-500 mil

FTZ 225, SPRINGFIELD
GRANTEE: CITY OF SPRINGFIELD AIRPORT BOARD

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$1-5 mil	251-500

Warehouse/Distribution Activity:

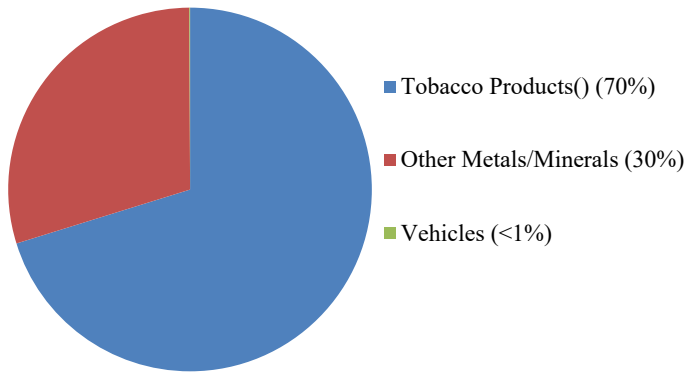
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$1-5 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
225	General Dynamics	\$1-5 mil	\$0	\$0

MONTANA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25-50 mil
Exports:	\$25-50 mil
Merchandise Forwarded:	\$25-50 mil
Employees:	251-500

FTZ 88, GREAT FALLS		
GRANTEE: GREAT FALLS INTERNATIONAL AIRPORT AUTHORITY		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 187, TOOLE COUNTY			
GRANTEE: NORTHERN EXPRESS TRANSPORTATION, INC.			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$10-25 mil	\$10-25 mil	1-25	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$10-25 mil	\$10-25 mil	\$10-25 mil

FTZ 274, BUTTE-SILVER BOW
GRANTEE: CITY AND COUNTY OF BUTTE–SILVER BOW

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$10-25 mil	151-250

Warehouse/Distribution Activity:

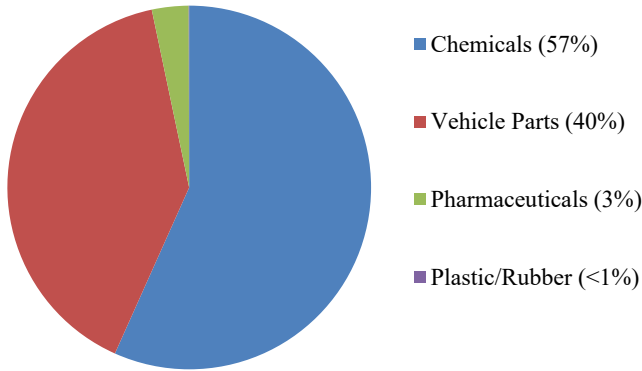
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0-.5 mil	\$0-.5 mil	\$0-.5 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
274	REC Advanced Silicon Materials LLC	\$10-25 mil	\$10-25 mil	\$10-25 mil

NEBRASKA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$75-100 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	4,001-5,000

FTZ 19, OMAHA				
GRANTEE: GREATER OMAHA CHAMBER OF COMMERCE				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$0	151-250		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
1	\$0-.5 mil	\$0	\$0-.5 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
19A	Syngenta Crop Protection, Inc.	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil

FTZ 59, LINCOLN
GRANTEE: LINCOLN FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$75-100 mil	4,001-5,000

Warehouse/Distribution Activity:

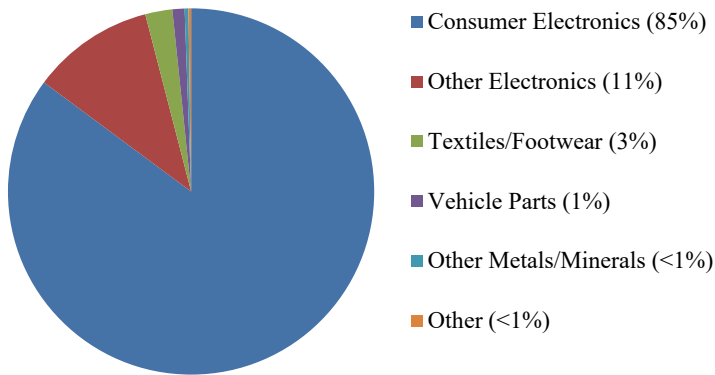
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
59A	Kawasaki Motors Manufacturing Corp., U.S.A.	\$500-750 mil	\$75-100 mil	\$500-750 mil
59E	Zoetis Services, LLC	\$25-50 mil	\$1-5 mil	\$10-25 mil

NEVADA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$5,000-10,000 mil
Exports:	\$25-50 mil
Merchandise Forwarded:	\$5,000-10,000 mil
Employees:	14,001-15,000

FTZ 89, CLARK COUNTY
GRANTEE: LAS VEGAS GLOBAL ECONOMIC ALLIANCE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$0-.5 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
6	\$250-500 mil	\$0-.5 mil	\$250-500 mil

FTZ 126, SPARKS
GRANTEE: ECONOMIC DEVELOPMENT AUTHORITY OF WESTERN NEVADA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$25-50 mil	14,001-15,000

Warehouse/Distribution Activity:

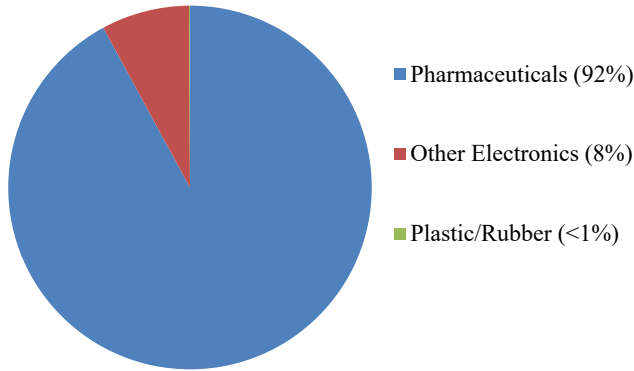
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
9	\$1,000-5,000 mil	\$5-10 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
126B	Taiyo America Inc.	\$1-5 mil	\$0	\$1-5 mil
126D	Tesla, Inc.	\$1,000-5,000 mil	\$10-25 mil	\$1,000-5,000 mil

NEW HAMPSHIRE

TOP FOREIGN-STATUS PRODUCTS BY VALUE

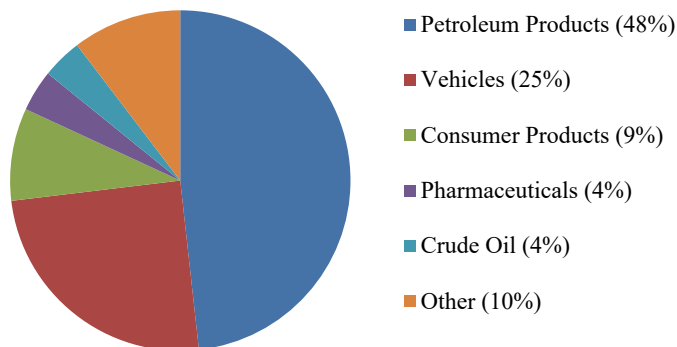


STATE SUMMARY	
Merchandise Received:	\$250-500 mil
Exports:	\$10-25 mil
Merchandise Forwarded:	\$100-250 mil
Employees:	1,251-1,500

FTZ 81, PORTSMOUTH				
GRANTEE: PEASE DEVELOPMENT AUTHORITY, DIVISION OF PORTS AND HARBORS				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$250-500 mil	\$10-25 mil	1,251-1,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
1	\$25-50 mil	\$1-5 mil	\$25-50 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
81	Textiles Coated International	\$10-25 mil	\$5-10 mil	\$10-25 mil
81D	Millipore Corporation	\$250-500 mil	\$1-5 mil	\$100-250 mil

NEW JERSEY

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	9,001-10,000

FTZ 44, MORRIS COUNTY				
GRANTEE: STATE OF NEW JERSEY DEPARTMENT OF STATE				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$100-250 mil	2,001-2,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
4	\$100-250 mil	\$5-10 mil	\$100-250 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
44	Givaudan Fragrances Corporation	\$250-500 mil	\$100-250 mil	\$250-500 mil
44B	International Flavors & Fragrances Inc.	\$100-250 mil	\$0	\$100-250 mil
44E	L'Oreal USA Products, Inc.	\$250-500 mil	\$10-25 mil	\$250-500 mil
44H	Givaudan Flavors Corporation	\$10-25 mil	\$0	\$10-25 mil

**FTZ 49, NEWARK/ELIZABETH
GRANTEE: PORT AUTHORITY OF NY AND NJ**

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$750-1,000 mil	6,001-7,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
17	\$5,000-10,000 mil	\$500-750 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
49C	Bristol-Myers Squibb	\$100-250 mil	\$25-50 mil	\$75-100 mil
49E	Phillips 66 Company	\$5,000-10,000 mil	\$1-5 mil	\$5,000-10,000 mil
49H	Firmenich, Inc.	\$250-500 mil	\$100-250 mil	\$250-500 mil
49J	Movado Group	\$75-100 mil	\$10-25 mil	\$100-250 mil
49T	Catalent Pharma Solutions	\$0	\$.5-1 mil	\$1-5 mil
49U	Celgene Corporation	\$100-250 mil	\$0-.5 mil	\$75-100 mil

**FTZ 142, SALEM/MILLVILLE
GRANTEE: SOUTH JERSEY PORT CORPORATION**

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$0-.5 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$.5-1 mil	\$0-.5 mil	\$0-.5 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
142A	PBF Energy Company, LLC	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil

FTZ 200, MERCER COUNTY
 GRANTEE: COUNTY OF MERCER, NEW JERSEY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$0	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$500-750 mil	\$0	\$500-750 mil

FTZ 235, LAKEWOOD
 GRANTEE: TOWNSHIP OF LAKEWOOD

All Activity:

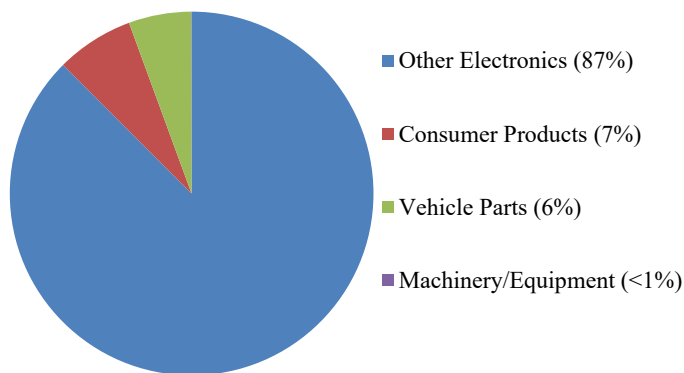
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1-5 mil	\$0	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1-5 mil	\$0	\$0

NEW MEXICO

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	501-750

FTZ 110, ALBUQUERQUE				
GRANTEE: THE CITY OF ALBUQUERQUE AVIATION DEPARTMENT				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$.5-1 mil	\$0	251-500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
110B	Louisiana Energy Services	\$.5-1 mil	\$0	\$.5-1 mil

FTZ 197, DONA ANA COUNTY
 GRANTEE: BOARD OF COUNTY COMMISSIONERS OF DONA ANA COUNTY

All Activity:

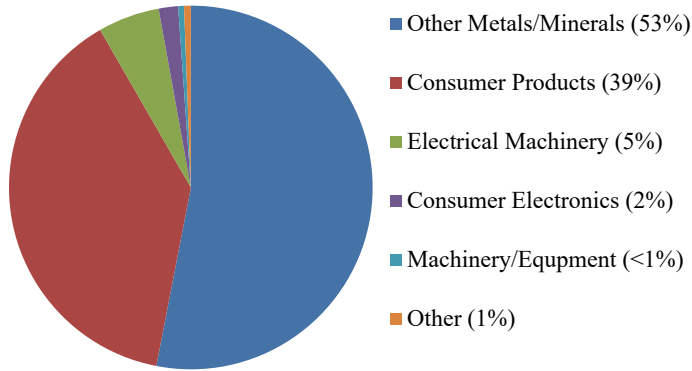
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

NEW YORK

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$500-750 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	5,001-6,000

FTZ 1, NEW YORK CITY			
GRANTEE: CITY OF NEW YORK			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$25,000-50,000 mil	\$50-75 mil	26-50	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	\$25,000-50,000 mil	\$50-75 mil	\$25,000-50,000 mil

FTZ 23, BUFFALO
GRANTEE: COUNTY OF ERIE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$10-25 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$50-75 mil	\$10-25 mil	\$50-75 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
23D	Cummins, Inc.	\$100-250 mil	\$0-.5 mil	\$100-250 mil

FTZ 34, NIAGARA COUNTY
GRANTEE: NIAGARA COUNTY INDUSTRIAL DEVELOPMENT AGENCY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0-.5 mil	\$0	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0-.5 mil	\$0	\$.5-1 mil

FTZ 37, ORANGE COUNTY
GRANTEE: COUNTY OF ORANGE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$10-25 mil	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$750-1,000 mil	\$0	\$750-1,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
37	Konica Minolta Supplies Manufacturing U.S.A., Inc	\$50-75 mil	\$10-25 mil	\$50-75 mil
37	Takasago	\$100-250 mil	\$0	\$100-250 mil

FTZ 52, SUFFOLK COUNTY
GRANTEE: SUFFOLK COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$250-500 mil	1251-1500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$10-25 mil	\$10-25 mil	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
52	Estee Lauder Inc.	\$250-500 mil	\$250-500 mil	\$250-500 mil
52	Regent Tek Industries, Inc.	\$.5-1 mil	\$0	\$.5-1 mil
52B	LNK International, Inc.	\$0	\$0	\$1-5 mil

FTZ 54, CLINTON COUNTY
GRANTEE: CLINTON COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$1-5 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$5-10 mil	\$1-5 mil	\$5-10 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
54A	W Schonbek LLC	\$5-10 mil	\$0-.5 mil	\$5-10 mil

FTZ 90, ONONDAGA COUNTY
GRANTEE: COUNTY OF ONONDAGA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$0	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0-.5 mil	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
90C	PPC Broadband, Inc.	\$250-500 mil	\$0	\$250-500 mil
90D	Xylem Water Systems USA LLC	\$100-250 mil	\$0	\$100-250 mil

FTZ 109, WATERTOWN
GRANTEE: COUNTY OF JEFFERSON

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 118, OGDENSBURG
GRANTEE: OGDENSBURG BRIDGE AND PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 121, ALBANY
GRANTEE: CAPITAL DISTRICT REGIONAL PLANNING COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5-10 mil	\$1-5 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
121A	Curia Global, Inc.	\$5-10 mil	\$1-5 mil	\$1-5 mil

FTZ 141, MONROE COUNTY
GRANTEE: COUNTY OF MONROE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$0	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
141A	Eastman Kodak	\$1-5 mil	\$0	\$1-5 mil
141B	Xerox	\$10-25 mil	\$0	\$10-25 mil

FTZ 172, ONEIDA COUNTY
GRANTEE: COUNTY OF ONEIDA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 284, GENESEE COUNTY
GRANTEE: GENESEE GATEWAY LOCAL DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5-10 mil	\$0	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
284	Liberty Pumps	\$5-10 mil	\$0	\$10-25 mil

FTZ 289, ONTARIO COUNTY
 GRANTEE: ONTARIO COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$0	151-250

Warehouse/Distribution Activity:

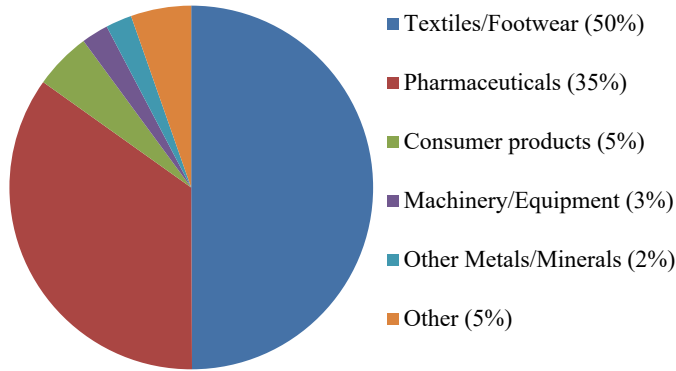
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
289A	Crosman Corporation	\$50-75 mil	\$0	\$50-75 mil

NORTH CAROLINA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	10,001-11,000

FTZ 57, MECKLENBURG COUNTY
GRANTEE: CHARLOTTE REGIONAL BUSINESS ALLIANCE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1-5 mil	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$0	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
57C	DNP Imagingcomm America Corporation	\$50-75 mil	\$1-5 mil	\$100-250 mil
57D	Exela Pharma Sciences, LLC	\$500-750 mil	\$0	\$0

FTZ 93, RALEIGH/DURHAM
GRANTEE: CENTRAL PINES REGIONAL COUNCIL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$75-100 mil	\$25-50 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
93	Liebel-Flarsheim	\$25-50 mil	\$0	\$25-50 mil
93	GlaxoSmithKline	\$25-50 mil	\$0	\$25-50 mil
93C	Merck Sharp & Dohme LLC	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
93G	Revlon Consumer Products Corporation	\$25-50 mil	\$0	\$50-75 mil

FTZ 214, LENOIR COUNTY
GRANTEE: NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$100-250 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$1-5 mil	\$0	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
214A	Consolidated Diesel	\$100-250 mil	\$100-250 mil	\$100-250 mil
214B	Hyster-Yale Group, Inc.	\$100-250 mil	\$0	\$100-250 mil

FTZ 230, PIEDMONT TRIAD AREA
GRANTEE: PIEDMONT TRIAD PARTNERSHIP

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$100-250 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
6	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
230	Tri-Seal Opco, LLC	\$75-100 mil	\$0-.5 mil	\$75-100 mil
230	John Deere Kernersville	\$25-50 mil	\$0	\$25-50 mil
230	LL Flex, LLC	\$10-25 mil	\$.5-1 mil	\$10-25 mil
230A	United Chemi-Con	\$10-25 mil	\$0-.5 mil	\$10-25 mil
230C	Patheon Softgels Inc.	\$25-50 mil	\$1-5 mil	\$25-50 mil

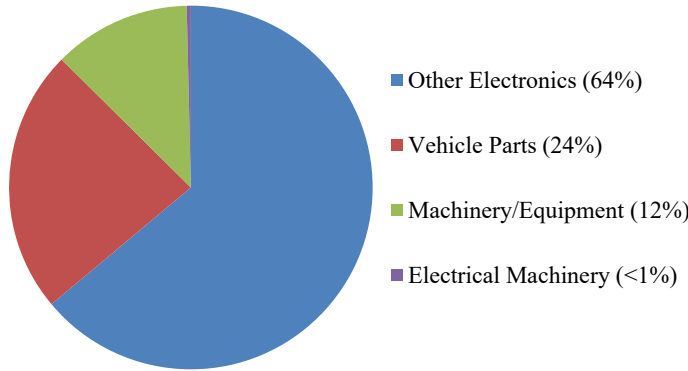
FTZ 301, WESTERN NORTH CAROLINA
GRANTEE: LAND OF SKY REGIONAL COUNCIL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

NORTH DAKOTA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



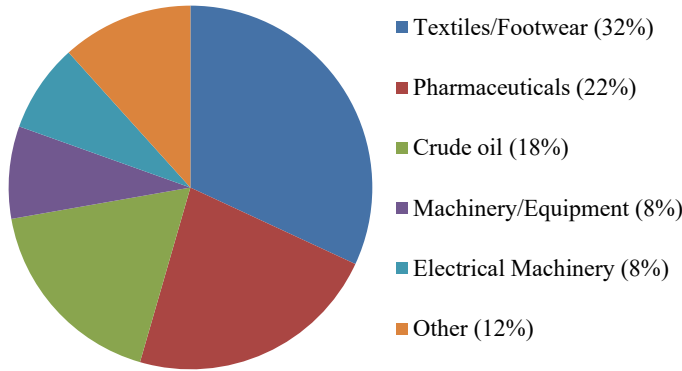
STATE SUMMARY	
Merchandise Received:	\$500-750 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$500-750 mil
Employees:	1,251-1,500

FTZ 103, GRAND FORKS		
GRANTEE: GRAND FORKS REGION ECONOMIC DEVELOPMENT CORPORATION		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 267, FARGO				
GRANTEE: MUNICIPAL AIRPORT AUTHORITY OF THE CITY OF FARGO				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$500-750 mil	\$1-5 mil	1,251-1,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
1	\$250-500 mil	\$1-5 mil	\$250-500 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
267	CNH America, LLC	\$250-500 mil	\$0	\$250-500 mil

OHIO

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$750-1,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	23,001-24,000

FTZ 8, TOLEDO				
GRANTEE: TOLEDO-LUCAS COUNTY PORT AUTHORITY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$5,000-10,000 mil	\$1-5 mil	5,001-6,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$1-5 mil	\$0	\$5-10 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
8	Arbor Foods Inc.	\$5-10 mil	\$0	\$5-10 mil
8F	Cenovus Energy	\$0-.5 mil	\$0	\$0-.5 mil
8G	Premcor Refining Group, Inc.	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
8H	Toledo Refining Company LLC	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
8I	Whirlpool Corporation	\$250-500 mil	\$1-5 mil	\$250-500 mil

FTZ 40, CLEVELAND
GRANTEE: CLEVELAND CUYAHOGA COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$75-100 mil	\$50-75 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
40I	Swagelok Company	\$1,000-5,000 mil	\$500-750 mil	\$750-1,000 mil

FTZ 46, CINCINNATI
GRANTEE: GREATER CINCINNATI FTZ, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$50-75 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
46	Festo Corporation	\$250-500 mil	\$50-75 mil	\$250-500 mil
46G	Givaudan Flavors Corporation	\$1-5 mil	\$0	\$1-5 mil
46H	MANE Inc.	\$50-75 mil	\$0	\$50-75 mil
46K	Patheon Pharmaceuticals Inc.	\$25-50 mil	\$5-10 mil	\$25-50 mil

FTZ 100, DAYTON
GRANTEE: GREATER DAYTON FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$25-50 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$10-25 mil	\$0	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
100C	MAHLE Behr Dayton LLC	\$250-500 mil	\$1-5 mil	\$250-500 mil
100D	Thor Industries	\$100-250 mil	\$1-5 mil	\$75-100 mil
100E	KitchenAid Global LLC	\$250-500 mil	\$25-50 mil	\$250-500 mil

FTZ 101, CLINTON COUNTY
GRANTEE: AMES MATERIAL SERVICES, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 138, FRANKLIN COUNTY
GRANTEE: COLUMBUS REGIONAL AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$250-500 mil	6,001-7,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
19	\$5,000-10,000 mil	\$250-500 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
138H	International Converter, Inc.	\$25-50 mil	\$5-10 mil	\$25-50 mil
138I	Intel Corporation	\$5-10 mil	\$0	\$0

FTZ 151, FINDLAY
GRANTEE: FINDLAY/HANCOCK COUNTY CHAMBER OF COMMERCE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$.5-1 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$10-25 mil	\$0	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
151	The Procter & Gamble Co.	\$250-500 mil	\$0	\$250-500 mil
151E	Whirlpool Corporation	\$250-500 mil	\$.5-1 mil	\$500-750 mil

FTZ 181, AKRON/CANTON
GRANTEE: NORTHEAST OHIO JOINT OFFICE OF ECONOMIC DEVELOPMENT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$5-10 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$5-10 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
181	Cimbar Resources, Inc.	\$10-25 mil	\$0	\$10-25 mil
181B	Mitsubishi Electric Power Products	\$0-.5 mil	\$0	\$0-.5 mil

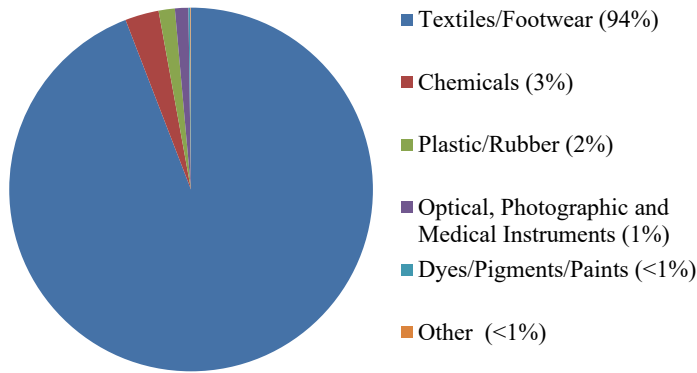
FTZ 270, LAWRENCE COUNTY
GRANTEE: LAWRENCE COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

OKLAHOMA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$250-500 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$500-750 mil
Employees:	501-750

FTZ 53, ROGERS COUNTY		
GRANTEE: CITY OF TULSA-ROGERS COUNTY PORT AUTHORITY		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 106, OKLAHOMA CITY				
GRANTEE: PORT AUTHORITY OF GREATER OKLAHOMA CITY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$250-500 mil	\$0	251-500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$250-500 mil	\$0	\$250-500 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
106D	Xerox Corporation	\$1-5 mil	\$0	\$1-5 mil
106F	Miraclon Corporation	\$10-25 mil	\$0	\$10-25 mil

FTZ 164, MUSKOGEE
GRANTEE: MUSKOGEE CITY-COUNTY PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$1-5 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$10-25 mil	\$1-5 mil	\$25-50 mil

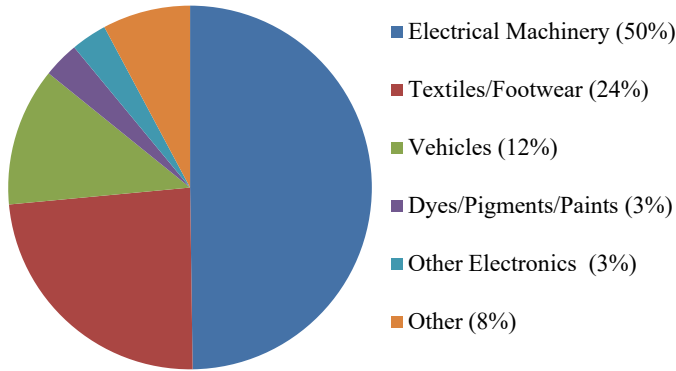
FTZ 227, DURANT
GRANTEE: RURAL ENTERPRISES OF OKLAHOMA, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

OREGON

TOP FOREIGN-STATUS PRODUCTS BY VALUE



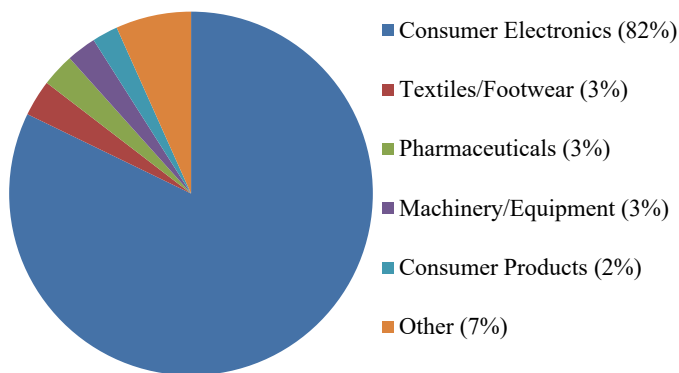
STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$500-750 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	5,001-6,000

FTZ 45, PORTLAND GRANTEE: PORT OF PORTLAND				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$500-750 mil	5,001-6,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$250-500 mil	\$25-50 mil	\$250-500 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
45F	Epson Portland Inc.	\$50-75 mil	\$0-.5 mil	\$50-75 mil
45H	Lam Research Corporation	\$500-750 mil	\$500-750 mil	\$750-1,000 mil

FTZ 132, COOS COUNTY GRANTEE: INTERNATIONAL PORT OF COOS BAY COMMISSION		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

PENNSYLVANIA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	10,001-11,000

FTZ 24, PITTSTON				
GRANTEE: EASTERN DISTRIBUTION CENTER, INC.				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$250-500 mil	\$50-75 mil	1,001-1,250		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
2	\$250-500 mil	\$25-50 mil	\$500-750 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
24B	Cherokee Pharmaceuticals, LLC	\$25-50 mil	\$10-25 mil	\$25-50 mil

FTZ 33, PITTSBURGH
GRANTEE: REGIONAL INDUSTRIAL DEVELOPMENT CORPORATION OF SOUTHWESTERN PENNSYLVANIA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$25-50 mil	1,001-1,250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$250-500 mil	\$25-50 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
33D	Mitsubishi Electric Power Products, Inc.	\$50-75 mil	\$.5-1 mil	\$50-75 mil
33E	DNP Imagingcomm America Corporation	\$10-25 mil	\$1-5 mil	\$10-25 mil

FTZ 35, PHILADELPHIA
GRANTEE: PHILADELPHIA REGIONAL PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$500-750 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$500-750 mil	\$100-250 mil	\$500-750 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
35D	Monroe Energy LLC	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
35E	Philly Shipyard, Inc.	\$250-500 mil	\$0	\$100-250 mil
35G	Estee Lauder Inc.	\$750-1,000 mil	\$250-500 mil	\$750-1,000 mil

FTZ 147, READING
 GRANTEE: FTZ CORP OF SOUTHERN PENNSYLVANIA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$500-750 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	\$10,000-25,000 mil	\$500-750 mil	\$10,000-25,000 mil

FTZ 247, ERIE
 GRANTEE: ERIE-WESTERN PENNSYLVANIA PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$0-.5 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$0-.5 mil	\$250-500 mil

FTZ 254, JEFFERSON COUNTY
 GRANTEE: NORTH CENTRAL PENNSYLVANIA REGIONAL PLANNING AND DEVELOPMENT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 272, COUNTIES OF LEHIGH AND NORTHAMPTON
 GRANTEE: LEHIGH VALLEY ECONOMIC DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$10-25 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$1,000-5,000 mil	\$1-5 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
272A	Grundfos Pumps Manufacturing Corporation	\$100-250 mil	\$5-10 mil	\$100-250 mil
272B	Piramal Critical Care	\$25-50 mil	\$10-25 mil	\$25-50 mil

FTZ 295, CENTRAL PENNSYLVANIA
 GRANTEE: PENNSYLVANIA FOREIGN TRADE ZONE CORPORATION

All Activity:

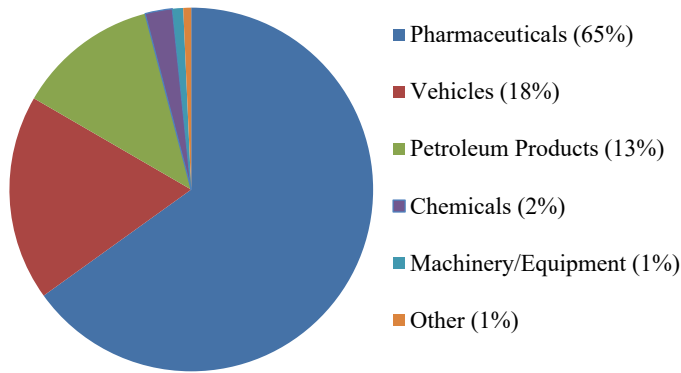
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0-.5 mil	\$0	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0-.5 mil	\$0	\$0-.5 mil

PUERTO RICO

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	15,001-16,000

FTZ 7, MAYAGUEZ				
GRANTEE: PUERTO RICO INDUSTRIAL DEVELOPMENT COMPANY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$10,000-25,000 mil	\$5,000-10,000 mil	11,001-12,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
30	\$1,000-5,000 mil	\$50-75 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	Baxter Health Care of Puerto Rico	\$50-75 mil	\$10-25 mil	\$50-75 mil
7	CooperVision Manufacturing PR LLC	\$75-100 mil	\$5-10 mil	\$75-100 mil
7	IPR Pharmaceuticals, Inc.	\$100-250 mil	\$75-100 mil	\$75-100 mil
7C	Bristol Myers Squibb Company	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
7E	FMC Agricultural Caribe Industries	\$0	\$1-5 mil	\$1-5 mil
7F	Puerto Rico Energy, LLC	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil
7G	MSD International GMBH	\$25-50 mil	\$25-50 mil	\$50-75 mil
7H	Ortho Biologics, Inc.	\$5-10 mil	\$1-5 mil	\$1-5 mil
7I	AbbVie Ltd.	\$100-250 mil	\$50-75 mil	\$75-100 mil
7J	Bristol-Myers Squibb Holdings	\$1,000-5,000 mil	\$500-750 mil	\$1,000-5,000 mil
7K	Lilly del Caribe, Inc.	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil
7L	Patheon Puerto Rico, Inc.	\$10-25 mil	\$10-25 mil	\$10-25 mil
7M	Amgen Manufacturing Ltd.	\$1-5 mil	\$1-5 mil	\$1-5 mil
7O	Neolpharma, Inc.	\$0	\$0	\$0-.5 mil

FTZ 61, SAN JUAN
GRANTEE: DEPARTMENT OF ECONOMIC DEVELOPMENT AND COMMERCE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$250-500 mil	3,001-4,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
27	\$1,000-5,000 mil	\$50-75 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
61D	AIAC International Pharma, LLC	\$1-5 mil	\$0-.5 mil	\$1-5 mil
61H	Baxter Healthcare of Puerto Rico	\$50-75 mil	\$5-10 mil	\$50-75 mil
61N	Janssen Ortho LLC	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

FTZ 163, PONCE
GRANTEE: CODEZOL, C.D.

All Activity:

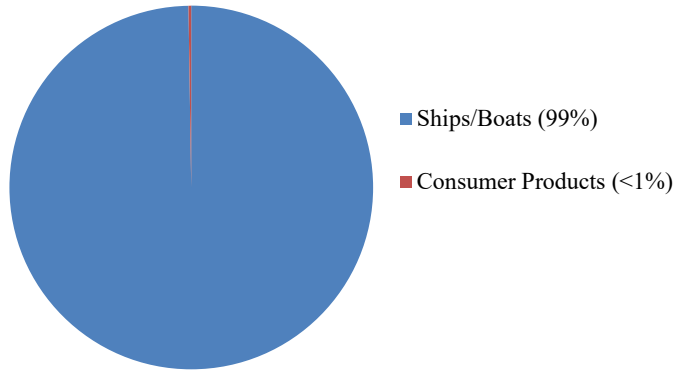
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$25-50 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
9	\$1,000-5,000 mil	\$25-50 mil	\$1,000-5,000 mil

RHODE ISLAND

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25-50 mil
Exports:	\$0
Merchandise Forwarded:	\$25-50 mil
Employees:	1-25

FTZ 105, PROVIDENCE & NORTH KINGSTOWN
GRANTEE: RHODE ISLAND COMMERCE CORPORATION

All Activity:

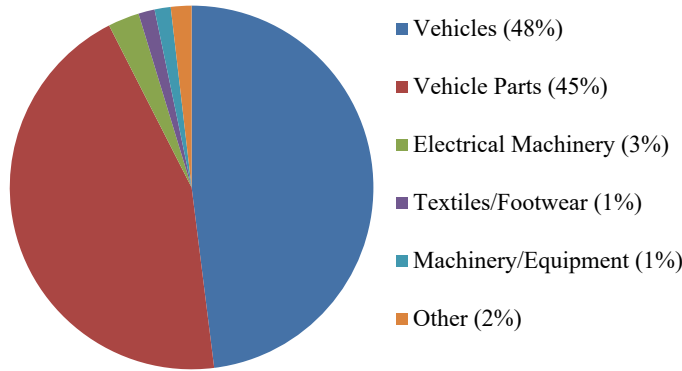
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$0	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$25-50 mil	\$0	\$25-50 mil

SOUTH CAROLINA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$50,000-75,000 mil
Exports:	\$5,000-10,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	26,001-27,000

FTZ 21, DORCHESTER COUNTY
GRANTEE: SOUTH CAROLINA STATE PORTS AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$5,000-10,000 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
13	\$10,000-25,000 mil	\$5,000-10,000 mil	\$10,000-25,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
21	AGFA Materials, Inc.	\$100-250 mil	\$25-50 mil	\$75-100 mil
21	MAHLE Behr Charleston, Inc.	\$100-250 mil	\$1-5 mil	\$100-250 mil
21F	Volvo Car USA	\$1,000-5,000 mil	\$250-500 mil	\$750-1,000 mil
21G	Agru CHS Mfg., LLC	\$10-25 mil	\$1-5 mil	\$5-10 mil

FTZ 38, SPARTANBURG COUNTY
GRANTEE: SOUTH CAROLINA STATE PORTS AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25,000-50,000 mil	\$1,000-5,000 mil	21,001-22,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
8	\$10,000-25,000 mil	\$10-25 mil	\$10,000-25,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
38	ZF Chassis Systems Duncan, LLC	\$100-250 mil	\$0	\$100-250 mil
38	Robert Bosch LLC	\$250-500 mil	\$0	\$250-500 mil
38	Swafford Warehouse, Inc.	\$5-10 mil	\$.5-1 mil	\$10-25 mil
38A	BMW Manufacturing Company, LLC	\$10,000-25,000 mil	\$750-1,000 mil	\$10,000-25,000 mil
38C	FUJIFILM North America Corporation	\$10-25 mil	\$10-25 mil	\$25-50 mil
38D	Yanfeng US Automotive Interior Systems I LLC	\$250-500 mil	\$1-5 mil	\$250-500 mil
38E	Black & Decker (U.S.) Inc.	\$1,000-5,000 mil	\$50-75 mil	\$1,000-5,000 mil
38F	Benteler Automotive Corporation	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
38I	Cornell Dubilier Marketing, Inc.	\$5-10 mil	\$1-5 mil	\$1-5 mil
38K	ZF Transmissions Gray Court LLC	\$100-250 mil	\$10-25 mil	\$100-250 mil
38M	Black & Decker, Inc.	\$50-75 mil	\$0	\$75-100 mil
38N	Electrolux Home Products, Inc.	\$100-250 mil	\$0	\$100-250 mil
38P	AFL Telecommunications, LLC	\$75-100 mil	\$10-25 mil	\$50-75 mil

FTZ 127, WEST COLUMBIA
GRANTEE: RICHLAND-LEXINGTON AIRPORT DISTRICT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$1-5 mil	251-500

Warehouse/Distribution Activity:

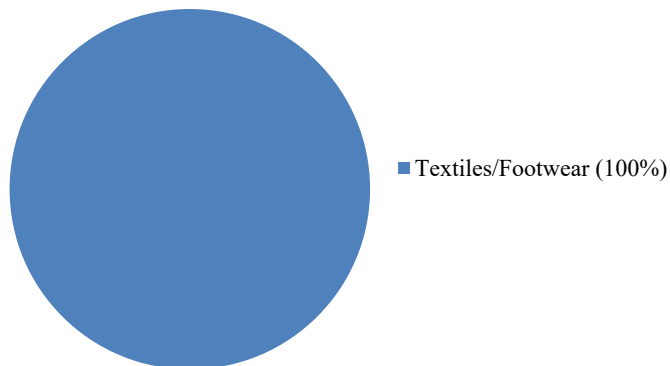
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$0	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
127	Komatsu America Corporation	\$250-500 mil	\$0	\$250-500 mil
127B	Constantia Blythewood, LLC	\$50-75 mil	\$1-5 mil	\$25-50 mil

SOUTH DAKOTA

TOP FOREIGN-STATUS PRODUCTS BY VALUE

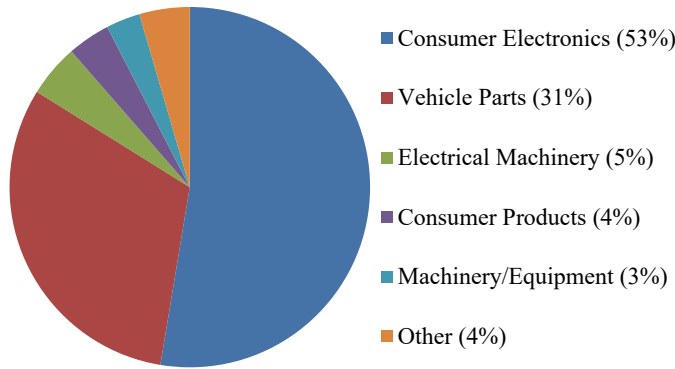


STATE SUMMARY	
Merchandise Received:	\$100-250 mil
Exports:	\$10-25 mil
Merchandise Forwarded:	\$100-250 mil
Employees:	251-500

FTZ 220, SIOUX FALLS				
GRANTEE: SIOUX FALLS DEVELOPMENT FOUNDATION				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$100-250 mil	\$10-25 mil	251-500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
220	Rosenbauer America	\$100-250 mil	\$10-25 mil	\$100-250 mil

TENNESSEE

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$25,000-50,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$25,000-50,000 mil
Employees:	23,001-24,000

FTZ 77, MEMPHIS				
GRANTEE: CITY OF MEMPHIS				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$75-100 mil	1,501-2,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
4	\$1,000-5,000 mil	\$75-100 mil	\$1,000-5,000 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
77A	Sharp Manufacturing Company	\$50-75 mil	\$0	\$50-75 mil
77B	Brother Industries (USA), Inc.	\$75-100 mil	\$5-10 mil	\$75-100 mil

FTZ 78, NASHVILLE
GRANTEE: METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	12,001-13,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$5,000-10,000 mil	\$500-750 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
78A	Nissan North America, Inc.	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil
78L	Envision AESC US LLC	\$100-250 mil	\$10-25 mil	\$100-250 mil
78N	Lasko Products, LLC	\$75-100 mil	\$1-5 mil	\$100-250 mil

FTZ 134, CHATTANOOGA
GRANTEE: CHATTANOOGA CHAMBER FOUNDATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$100-250 mil	6,001-7,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$1-5 mil	\$10-25 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
134	Sofix LLC	\$1-5 mil	\$5-10 mil	\$5-10 mil
134	Volkswagen Group of America	\$5,000-10,000 mil	\$100-250 mil	\$5,000-10,000 mil
134	Komatsu North America	\$500-750 mil	\$0	\$500-750 mil
134B	Wacker Polysilicon North America	\$10-25 mil	\$25-50 mil	\$25-50 mil

FTZ 148, KNOXVILLE
GRANTEE: INDUSTRIAL DEVELOPMENT BOARD OF BLOUNT COUNTY AND THE CITIES OF ALCOA AND MARYVILLE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$250-500 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil

FTZ 204, TRI-CITIES
GRANTEE: TRI-CITIES AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
204B	Eastman Chemical Company	\$1,000-5,000 mil	\$500-750 mil	\$1,000-5,000 mil

FTZ 223, MEMPHIS
GRANTEE: MEMPHIS INTERNATIONAL TRADE DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 283, WEST TENNESSEE
GRANTEE: NORTHWEST TENNESSEE REGIONAL PORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$50-75 mil	1,501-2,000

Warehouse/Distribution Activity:

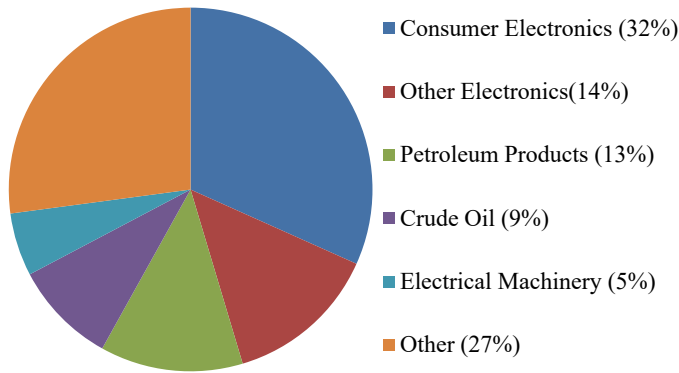
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$5-10 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
283	MAT Industries, LLC	\$10-25 mil	\$0	\$10-25 mil
283A	MTD Consumer Group Inc.	\$500-750 mil	\$50-75 mil	\$500-750 mil

TEXAS

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$>100,000 mil
Exports:	\$25,000-50,000 mil
Merchandise Forwarded:	\$>100,000 mil
Employees:	61,001-62,000

FTZ 12, MCALLEN
GRANTEE: MCALLEN FOREIGN TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	501-750

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
12A	TST NA TRIM, LLC	\$25-50 mil	\$25-50 mil	\$25-50 mil
12C	Black & Decker (U.S.), Inc.	\$100-250 mil	\$1-5 mil	\$100-250 mil

FTZ 36, GALVESTON
GRANTEE: BOARD OF TRUSTEES OF THE GALVESTON WHARVES

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$10-25 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$750-1,000 mil	\$10-25 mil	\$750-1,000 mil

FTZ 39, DALLAS/FORT WORTH
GRANTEE: DALLAS/FORT WORTH INTERNATIONAL AIRPORT BOARD

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$750-1,000 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
20	\$5,000-10,000 mil	\$250-500 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
39	Dallas Airmotive	\$750-1,000 mil	\$100-250 mil	\$500-750 mil
39	Lasko Products, Inc.	\$75-100 mil	\$5-10 mil	\$100-250 mil
39C	Sanden International (U.S.A.), Inc.	\$100-250 mil	\$75-100 mil	\$100-250 mil
39I	Safran Helicopter Engines USA, Inc.	\$250-500 mil	\$0	\$250-500 mil

<p>FTZ 62, BROWNSVILLE GRANTEE: BROWNSVILLE NAVIGATION DISTRICT</p>				
<p>All Activity:</p>				
	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>	
	<p>\$5,000-10,000 mil</p>	<p>\$5,000-10,000 mil</p>	<p>1,001-1,250</p>	
<p>Warehouse/Distribution Activity:</p>				
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>	
<p>13</p>	<p>\$5,000-10,000 mil</p>	<p>\$5,000-10,000 mil</p>	<p>\$5,000-10,000 mil</p>	
<p>Production Activity:</p>				
	<p>COMPANY</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>62</p>	<p>Keppel Amfels</p>	<p>\$.5-1 mil</p>	<p>\$250-500 mil</p>	<p>\$250-500 mil</p>

<p>FTZ 68, EL PASO GRANTEE: CITY OF EL PASO</p>			
<p>All Activity:</p>			
	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>
	<p>\$1,000-5,000 mil</p>	<p>\$1,000-5,000 mil</p>	<p>751-1,000</p>
<p>Warehouse/Distribution Activity:</p>			
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>10</p>	<p>\$1,000-5,000 mil</p>	<p>\$1,000-5,000 mil</p>	<p>\$1,000-5,000 mil</p>

FTZ 80, SAN ANTONIO
GRANTEE: CITY OF SAN ANTONIO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$50-75 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$100-250 mil	\$0-.5 mil	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
80E	CGT U.S. Limited	\$50-75 mil	\$50-75 mil	\$50-75 mil

FTZ 84, HOUSTON
GRANTEE: PORT OF HOUSTON AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25,000-50,000 mil	\$1,000-5,000 mil	8,001-9,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
46	\$5,000-10,000 mil	\$500-750 mil	\$10,000-25,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
84	Mitsubishi Logisnext Americas (Houston) Inc.	\$500-750 mil	\$100-250 mil	\$500-750 mil
84	MHI Compressor International Corporation	\$100-250 mil	\$10-25 mil	\$100-250 mil
84H	Pressure Controls	\$100-250 mil	\$100-250 mil	\$100-250 mil
84I	Tuboscope	\$25-50 mil	\$0-.5 mil	\$25-50 mil
84M	Hydril USA Distribution	\$50-75 mil	\$5-10 mil	\$10-25 mil
84O	ExxonMobil	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
84T	Toshiba International	\$50-75 mil	\$0	\$50-75 mil
84AA	Schlumberger Technology	\$25-50 mil	\$10-25 mil	\$25-50 mil
84AG	Coreworks Heat Exchangers	\$1-5 mil	\$1-5 mil	\$1-5 mil

FTZ 94, LAREDO
GRANTEE: CITY OF LAREDO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$500-750 mil	151-250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
37	\$500-750 mil	\$500-750 mil	\$500-750 mil

FTZ 95, STARR COUNTY
GRANTEE: STARR COUNTY INDUSTRIAL FOUNDATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 96, EAGLE PASS
GRANTEE: CITY OF EAGLE PASS

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 113, ELLIS COUNTY
GRANTEE: ELLIS COUNTY TRADE ZONE CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 115, BEAUMONT
GRANTEE: FOREIGN-TRADE ZONE OF SOUTHEAST TEXAS, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$5,000-10,000 mil	2,501-3,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$75-100 mil	\$0	\$25-50 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
115B	ExxonMobil Oil Corporation	\$10,000-25,000 mil	\$5,000-10,000 mil	\$10,000-25,000 mil

FTZ 116, PORT ARTHUR
GRANTEE: FOREIGN-TRADE ZONE OF SOUTHEAST TEXAS, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25,000-50,000 mil	\$5,000-10,000 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$250-500 mil	\$0	\$100-250 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
116A	Motiva Enterprises LLC	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
116B	TotalEnergies Petrochemicals & Refining USA	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
116C	Premcor Refining Group	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
116E	Golden Pass LNG Terminal LLC	\$250-500 mil	\$0	\$.5-1 mil

FTZ 117, ORANGE
GRANTEE: FOREIGN-TRADE ZONE OF SOUTHEAST TEXAS, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 122, CORPUS CHRISTI
GRANTEE: PORT OF CORPUS CHRISTI AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$5,000-10,000 mil	11,001-12,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$75-100 mil	\$25-50 mil	\$75-100 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
122I	Citgo Refining & Chemicals	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
122J	Valero Refining Company	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil
122P	Kiewit Offshore Services, Ltd.	\$50-75 mil	\$0	\$1-5 mil
122R	Halliburton Energy Services, Inc.	\$10-25 mil	\$0	\$5-10 mil
122T	ArcelorMittal Texas HBI LLC	\$250-500 mil	\$100-250 mil	\$250-500 mil
122V	Superior Weighting Products, LLC	\$25-50 mil	\$0-.5 mil	\$10-25 mil
122W	Gulf Coast Growth Ventures LLC	\$500-750 mil	\$0	\$500-750 mil
122X	Cheniere Energy, Inc.	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 149, FREEPORT
GRANTEE: PORT FREEPORT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$0	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
149B	DSM Nutritional Products	\$10-25 mil	\$10-25 mil	\$10-25 mil
149C	Phillips 66 Company	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil

FTZ 150, EL PASO
GRANTEE: WESTPORT ECONOMIC DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1,000-5,000 mil	\$1,000-5,000 mil	\$1,000-5,000 mil

FTZ 155, CALHOUN/VICTORIA COUNTIES
 GRANTEE: CALHOUN-VICTORIA FOREIGN-TRADE ZONE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$750-1,000 mil	\$0	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
155D	Tenaris Bay City, Inc.	\$750-1,000 mil	\$0	\$750-1,000 mil

FTZ 156, HIDALGO COUNTY
 GRANTEE: HIDALGO COUNTY REGIONAL FOREIGN TRADE ZONE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 165, MIDLAND
 GRANTEE: CITY OF MIDLAND

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 168, DALLAS/FORT WORTH
GRANTEE: METROPLEX INTERNATIONAL TRADE DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$100-250 mil	1,001-1,250

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
7	\$750-1,000 mil	\$25-50 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
168D	Samsung Electronics America	\$5,000-10,000 mil	\$0	\$5,000-10,000 mil
168E	Gulfstream Aerospace	\$250-500 mil	\$75-100 mil	\$250-500 mil

FTZ 171, LIBERTY COUNTY
GRANTEE: LIBERTY COUNTY ECONOMIC DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$1,000-5,000 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$1,000-5,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
171B	CCZJV-GPX	\$0	\$0	\$100-250 mil

FTZ 183, AUSTIN
GRANTEE: FOREIGN TRADE ZONE OF CENTRAL TEXAS, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$25-50 mil	10,001-11,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$1-5 mil	\$1-5 mil	\$5-10 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
183B	Samsung Austin Semiconductor	\$1,000-5,000 mil	\$0	\$1,000-5,000 mil
183C	Flextronics America, LLC	\$75-100 mil	\$10-25 mil	\$50-75 mil
183D	Rohr, Inc.	\$1-5 mil	\$1-5 mil	\$1-5 mil

FTZ 196, FORT WORTH
GRANTEE: ALLIANCE CORRIDOR, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$1,000-5,000 mil	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
9	\$1,000-5,000 mil	\$50-75 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
196	Prairie Industries Holdings, Inc.	\$25-50 mil	\$0	\$25-50 mil
196A	TTI, Inc.	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil

FTZ 199, TEXAS CITY
GRANTEE: TEXAS CITY FOREIGN-TRADE ZONE CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$1,000-5,000 mil	5,001-6,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
199A	Marathon Petroleum Company LP	\$10,000-25,000 mil	\$1,000-5,000 mil	\$10,000-25,000 mil
199C	Valero Refining - Texas, LP	\$5,000-10,000 mil	\$1,000-5,000 mil	\$5,000-10,000 mil

FTZ 234, GREGG COUNTY
GRANTEE: GREGG COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$500-750 mil	\$0	2,001-2,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$500-750 mil	\$0	\$500-750 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
234B	Joy Global Longview Operations LLC	\$25-50 mil	\$0	\$10-25 mil

FTZ 246, WACO
GRANTEE: CITY OF WACO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 252, AMARILLO
GRANTEE: CITY OF AMARILLO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 258, BOWIE COUNTY
GRANTEE: TEXAMERICAS CENTER

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 260, LUBBOCK
GRANTEE: CITY OF LUBBOCK

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$0-.5 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$10-25 mil	\$0-.5 mil	\$10-25 mil

FTZ 265, CONROE (MONTGOMERY COUNTY)
GRANTEE: CITY OF CONROE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$5-10 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$5-10 mil	\$5-10 mil

FTZ 269, ATHENS
GRANTEE: ATHENS ECONOMIC DEVELOPMENT CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 297, LUFKIN
GRANTEE: CITY OF LUFKIN

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 299, SMITH COUNTY
GRANTEE: TYLER ECONOMIC DEVELOPMENT COUNCIL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

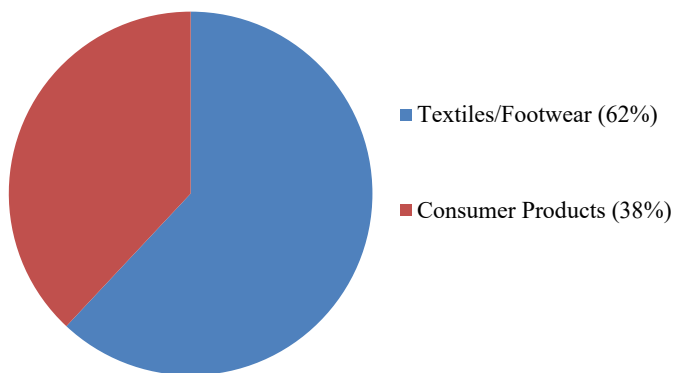
FTZ 302, SOCORRO
GRANTEE: CITY OF SOCORRO

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

UTAH

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$75-100 mil
Exports:	\$1-5 mil
Merchandise Forwarded:	\$50-75 mil
Employees:	26-50

FTZ 30, SALT LAKE CITY
GRANTEE: SALT LAKE CITY CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$75-100 mil	\$1-5 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$75-100 mil	\$1-5 mil	\$50-75 mil

VERMONT

FTZ 55, BURLINGTON
GRANTEE: GREATER BURLINGTON INDUSTRIAL CORPORATION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

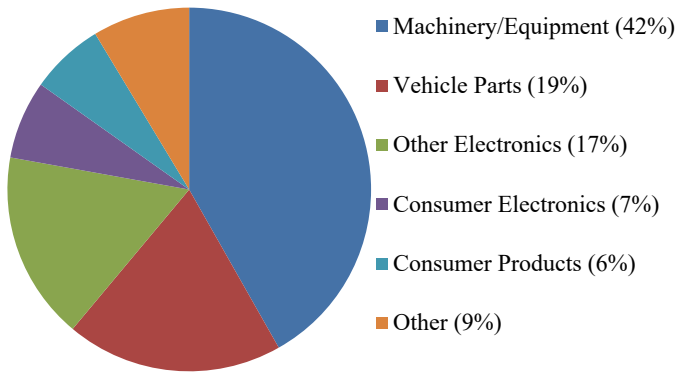
FTZ 268, BRATTLEBORO
GRANTEE: BRATTLEBORO FOREIGN-TRADE ZONE LLC

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

VIRGINIA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$100-250 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	5,001-6,000

FTZ 20, SUFFOLK				
GRANTEE: VIRGINIA PORT AUTHORITY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$100-250 mil	3,001-4,000		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
4	\$250-500 mil	\$50-75 mil	\$250-500 mil	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
20D	Canon Virginia, Inc.	\$100-250 mil	\$10-25 mil	\$100-250 mil
20E	STIHL Inc.	\$1,000-5,000 mil	\$75-100 mil	\$1,000-5,000 mil

FTZ 137, WASHINGTON DULLES INTERNATIONAL AIRPORT
 GRANTEE: WASHINGTON DULLES FOREIGN-TRADE ZONE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$50-75 mil	\$1-5 mil	101-150

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$50-75 mil	\$1-5 mil	\$50-75 mil

FTZ 185, CULPEPER COUNTY
 GRANTEE: COUNTY OF CULPEPER

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10-25 mil	\$.5-1 mil	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
185C	Merck & Co., Inc.	\$10-25 mil	\$.5-1 mil	\$25-50 mil

FTZ 204, TRI-CITIES
 GRANTEE: TRI-CITIES AIRPORT AUTHORITY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$500-750 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
204B	Eastman Chemical Company	\$1,000-5,000 mil	\$500-750 mil	\$1,000-5,000 mil

FTZ 207, RICHMOND
 GRANTEE: CAPITAL REGION AIRPORT COMMISSION

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$250-500 mil	\$1-5 mil	251-500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
3	\$250-500 mil	\$1-5 mil	\$250-500 mil

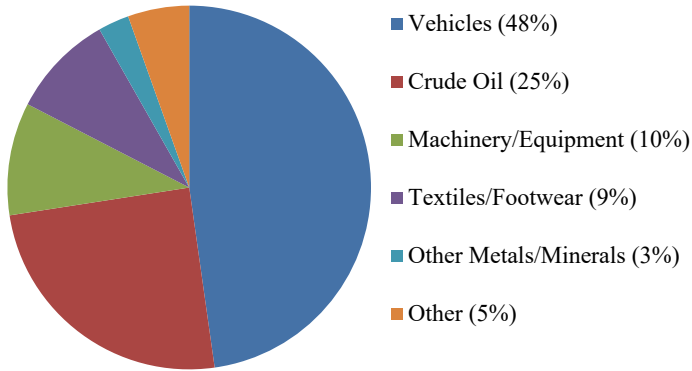
FTZ 238, DUBLIN
 GRANTEE: NEW RIVER VALLEY ECONOMIC DEVELOPMENT ALLIANCE, INC.

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

WASHINGTON

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$10,000-25,000 mil
Exports:	\$1,000-5,000 mil
Merchandise Forwarded:	\$10,000-25,000 mil
Employees:	4,001-5,000

FTZ 5, SEATTLE			
GRANTEE: PORT OF SEATTLE			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$1,000-5,000 mil	\$100-250 mil	151-250	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
4	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

FTZ 85, EVERETT			
GRANTEE: PORT OF EVERETT			
All Activity:			
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES	
\$0	\$0-.5 mil	1-25	
Warehouse/Distribution Activity:			
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$0	\$0-.5 mil	\$0-.5 mil

FTZ 86, TACOMA
GRANTEE: PORT OF TACOMA

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$5,000-10,000 mil	\$100-250 mil	1,501-2,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
5	\$1,000-5,000 mil	\$100-250 mil	\$1,000-5,000 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
86D	Marathon Petroleum Company LP	\$1,000-5,000 mil	\$10-25 mil	\$1,000-5,000 mil
86H	Stella Jones Corporation	\$1-5 mil	\$1-5 mil	\$1-5 mil

FTZ 120, COWLITZ COUNTY
GRANTEE: COWLITZ ECONOMIC DEVELOPMENT COUNCIL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$100-250 mil	26-50

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$100-250 mil	\$100-250 mil	\$100-250 mil

FTZ 128, WHATCOM COUNTY
GRANTEE: LUMMI INDIAN BUSINESS COUNCIL

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

FTZ 129, BELLINGHAM
GRANTEE: PORT OF BELLINGHAM

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$10,000-25,000 mil	\$250-500 mil	1,251-1,500

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$5-10 mil	\$1-5 mil	\$1-5 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
129A	West Coast Products LLC	\$10,000-25,000 mil	\$250-500 mil	\$10,000-25,000 mil

FTZ 173, GRAYS HARBOR
GRANTEE: PORT OF GRAYS HARBOR

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$25-50 mil	\$25-50 mil	1-25

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
1	\$25-50 mil	\$25-50 mil	\$25-50 mil

<p>FTZ 203, MOSES LAKE GRANTEE: MOSES LAKE PUBLIC CORPORATION</p>				
<p>All Activity:</p>				
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>		
<p>\$100-250 mil</p>	<p>\$75-100 mil</p>	<p>1,001-1,250</p>		
<p>Warehouse/Distribution Activity:</p>				
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>	
<p>3</p>	<p>\$25-50 mil</p>	<p>\$25-50 mil</p>	<p>\$25-50 mil</p>	
<p>Production Activity:</p>				
	<p>COMPANY</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>203</p>	<p>SGL Composites LLC</p>	<p>\$25-50 mil</p>	<p>\$25-50 mil</p>	<p>\$25-50 mil</p>
<p>203</p>	<p>Framatome, Inc.</p>	<p>\$50-75 mil</p>	<p>\$0-.5 mil</p>	<p>\$50-75 mil</p>
<p>203A</p>	<p>Joyson Safety Systems Acquisition</p>	<p>\$10-25 mil</p>	<p>\$10-25 mil</p>	<p>\$10-25 mil</p>
<p>203B</p>	<p>REC Silicon</p>	<p>\$25-50 mil</p>	<p>\$0</p>	<p>\$10-25 mil</p>

<p>FTZ 212, TACOMA GRANTEE: PUYALLUP TRIBAL FOREIGN-TRADE ZONE CORPORATION</p>		
<p>All Activity:</p>		
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>
<p>\$0</p>	<p>\$0</p>	<p>0</p>

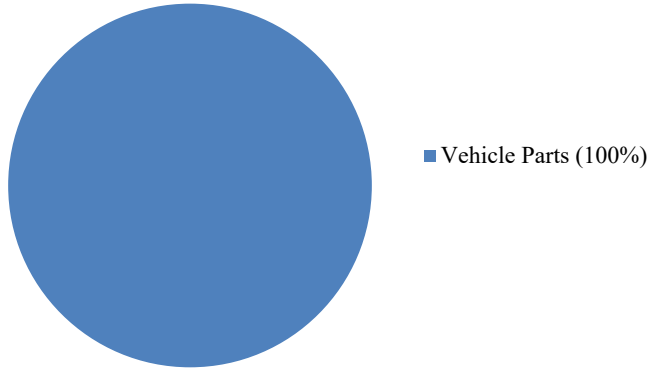
<p>FTZ 216, OLYMPIA GRANTEE: PORT OF OLYMPIA</p>				
<p>All Activity:</p>				
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>		
<p>\$100-250 mil</p>	<p>\$25-50 mil</p>	<p>251-500</p>		
<p>Warehouse/Distribution Activity:</p>				
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>	
<p>2</p>	<p>\$50-75 mil</p>	<p>\$25-50 mil</p>	<p>\$100-250 mil</p>	
<p>Production Activity:</p>				
	<p>COMPANY</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>216</p>	<p>Callisons, Inc.</p>	<p>\$50-75 mil</p>	<p>\$10-25 mil</p>	<p>\$25-50 mil</p>

<p>FTZ 224, SPOKANE GRANTEE: SPOKANE AIRPORT BOARD</p>			
<p>All Activity:</p>			
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>	
<p>\$5-10 mil</p>	<p>\$0</p>	<p>1-25</p>	
<p>Warehouse/Distribution Activity:</p>			
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>1</p>	<p>\$5-10 mil</p>	<p>\$0</p>	<p>\$5-10 mil</p>

<p>FTZ 296, VANCOUVER GRANTEE: PORT OF VANCOUVER USA</p>			
<p>All Activity:</p>			
<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>EMPLOYEES</p>	
<p>\$100-250 mil</p>	<p>\$100-250 mil</p>	<p>1-25</p>	
<p>Warehouse/Distribution Activity:</p>			
<p>NUMBER OF OPERATORS</p>	<p>MERCHANDISE RECEIVED</p>	<p>EXPORTS</p>	<p>MERCHANDISE FORWARDED</p>
<p>1</p>	<p>\$100-250 mil</p>	<p>\$100-250 mil</p>	<p>\$100-250 mil</p>

WEST VIRGINIA

TOP FOREIGN-STATUS PRODUCTS BY VALUE



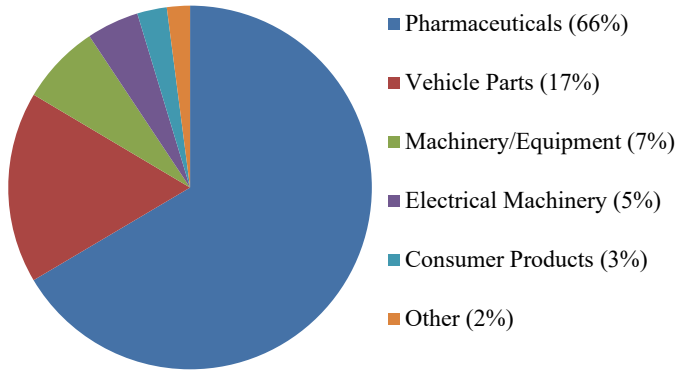
STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$750-1,000 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	2,001-2,500

FTZ 229, CHARLESTON				
GRANTEE: WEST VIRGINIA ECONOMIC DEVELOPMENT AUTHORITY				
All Activity:				
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES		
\$1,000-5,000 mil	\$750-1,000 mil	2,001-2,500		
Warehouse/Distribution Activity:				
NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED	
0	\$0	\$0	\$0	
Production Activity:				
	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
229A	Toyota Motor Manufacturing West Virginia, Inc.	\$1,000-5,000 mil	\$750-1,000 mil	\$1,000-5,000 mil

FTZ 240, MARTINSBURG		
GRANTEE: WEST VIRGINIA ECONOMIC DEVELOPMENT AUTHORITY		
All Activity:		
MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

WISCONSIN

TOP FOREIGN-STATUS PRODUCTS BY VALUE



STATE SUMMARY	
Merchandise Received:	\$1,000-5,000 mil
Exports:	\$250-500 mil
Merchandise Forwarded:	\$1,000-5,000 mil
Employees:	5,001-6,000

FTZ 41, MILWAUKEE
GRANTEE: PORT OF MILWAUKEE

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$1,000-5,000 mil	\$250-500 mil	4,001-5,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
2	\$250-500 mil	\$0-.5 mil	\$250-500 mil

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
41H	Mercury Marine	\$1,000-5,000 mil	\$250-500 mil	\$1,000-5,000 mil
41I	CNH Industrial America LLC	\$250-500 mil	\$0	\$250-500 mil
41L	Broan-NuTone LLC	\$250-500 mil	\$0	\$250-500 mil

FTZ 167, BROWN COUNTY
GRANTEE: BROWN COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$100-250 mil	\$5-10 mil	751-1,000

Warehouse/Distribution Activity:

NUMBER OF OPERATORS	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
0	\$0	\$0	\$0

Production Activity:

	COMPANY	MERCHANDISE RECEIVED	EXPORTS	MERCHANDISE FORWARDED
167B	Polaris Industries	\$50-75 mil	\$0	\$50-75 mil
167E	ProAmpac Holdings, Inc.	\$100-250 mil	\$5-10 mil	\$100-250 mil

FTZ 266, DANE COUNTY
GRANTEE: DANE COUNTY

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

WYOMING

FTZ 157, CASPER
GRANTEE: NATRONA COUNTY INTERNATIONAL AIRPORT

All Activity:

MERCHANDISE RECEIVED	EXPORTS	EMPLOYEES
\$0	\$0	0

APPENDIX E: REFERENCE

REFERENCE

Product Categories Used in Appendices B and D

Advanced Fiber Materials
Arms/Ammunition
Aircraft/Spacecraft
Beverages/Spirits
Chemicals
Consumer Electronics
Consumer Products
Crude Oil
Dyes/Pigments/Paints
Electrical Machinery
Fats/Oils
Food Products
Fragrances/Cosmetics
Iron/Steel
Machinery/Equipment
Optical, Photographic and Medical Instruments
Other Electronics
Other Metals/Minerals
Petrochemicals
Petroleum Products
Pharmaceuticals
Plastic/Rubber
Rail Cars, Parts and Equipment
Ships/Boats
Stone/Plaster/Cement/Ceramics
Textiles/Footwear
Tobacco
Vehicle Parts
Vehicles
Wood/Paper/Printed Articles

Merchandise Value Ranges Used in Appendix D

Employment Ranges Used in Appendix D

\$0-.5 mil	1-25
\$.5-1 mil	26-50
\$1-5 mil	51-75
\$5-10 mil	76-100
\$10-25 mil	101-150
\$25-50 mil	151-250
\$50-75 mil	251-500
\$75-100 mil	501-750
\$100-250 mil	751-1,000
\$250-500 mil	1,001-1,250
\$500-750 mil	1,251-1,500
\$750-1,000 mil	1,501-2,000
\$1,000-5,000 mil	2,001-2,500
\$5,000-10,000 mil	2,501-3,000
\$10,000-25,000 mil	3,001-4,000
\$25,000-50,000 mil	then by ranges of 1,000
\$50,000-75,000 mil	
\$75,000-100,000 mil	
\$>100,000 mil	

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA - Reports, Discussions and Action Items
Agenda Item No. 9 (6)

Meeting Date: September 11, 2024

Report/Action: **DISCUSS RESOLUTION JPA 24-20, RESCINDING RESOLUTION JPA 19-27 AND ESTABLISHING A POLICY PUBLISHING THE REGULAR MEETING AGENDA AT LEAST TWELVE (12) DAYS BEFORE EACH REGULAR MEETING, AND TAKE ACTION AS DEEMED APPROPRIATE BY THE COMMISSION**

Proposed Motion: Discuss Resolution JPA 24-20 rescinding Resolution JPA 19-27 and establishing a policy publishing the Regular Meeting Agenda at least twelve (12) days before each regular meeting, and take action as deemed appropriate by the Commission

Background:

The meetings of the March Joint Powers Commission (“Commission”) of the March Joint Powers Authority (“Authority”) are subject to the Ralph M. Brown Act. In accordance with Government Code § 54954.2, the Authority must post the agenda for a regular meeting at least 72 hours in advance of the meeting time. At the June 12, 2024, Commission meeting, Commissioner Perry asked that the Commission consider establishing a policy requiring at least twelve (12) days advance notice to match the City of Riverside’s current policy also known as their “Sunshine Ordinance.”

Discussion:

While the law requires local agencies, including the Authority, to post their agendas at least 72 hours prior to the meeting, nothing prevents a local agency from establishing a policy requiring more notice. The Authority currently has a policy of requiring staff to post the agenda five (5) days prior to the date of the meeting. The attached resolution would establish a policy for Authority staff to post the agenda twelve (12) days prior to the date of the meeting. This will provide Commissioners and the public additional time to review the agenda prior to the meeting time.

To assist with the discussion of the proposed policy change, Authority staff researched the agenda adoption procedures of the Authority’s member agencies. As outlined on the following Table 1, the County of Riverside and the City Perris maintain the Brown Act posting deadline of 72 hours. The City of Moreno Valley utilizes the same five (5) day schedule as the Authority, while the City of Riverside maintains a twelve (12) day posting schedule.

<i>City</i>	<i>Municipal Code Rules of Procedure</i>	<i>Agenda Posting Deadline</i>
<i>City of Perris</i>	<i>Nothing specified</i>	<i>72 hours per Cal. Gov. Code § 54954.2(a)</i>
<i>County of Riverside</i>	<i>Board of Supervisors Policy #11</i>	<i>72 hours per Cal. Gov. Code § 54954.2(a)</i>
<i>City of Moreno Valley</i>	<i>MV Rules of Procedure §1.1.2.3</i>	<i>Regular Meetings: 120 hours prior to meeting Special Meetings: 24 hours prior to meeting</i>
<i>March Joint Powers Authority</i>	<i>Resolution JPA 19-27</i>	<i>Regular Meetings: 120 hours prior to meeting Special Meetings: 24 hours prior to meeting</i>
<i>City of Riverside</i>	<i>Regular Meetings §4.05.050(A) Special Meetings §4.05.060</i>	<i>Regular Meetings: no later than 120 hours prior to meeting Special Meetings: at least 5 calendar days prior to meeting</i>

Staff is recommending a discussion, and a desired Commission action, on the attached Resolution JPA 24-20.

Attachment: Resolution JPA 24-20

RESOLUTION JPA 24-20

A RESOLUTION OF THE JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY RESCINDING RESOLUTION JPA 19-27 AND ESTABLISHING A POLICY OF PUBLISHING THE COMMISSION AGENDA TWELVE (12) DAYS BEFORE EACH REGULAR COMMISSION MEETING

WHEREAS, the March Joint Powers Authority (“MJPA”) is a joint powers agency created by a joint powers agreement dated September 7, 1993 to act as the federally recognized reuse authority, local land use authority, redevelopment agency, and airport authority for the former March Air Force Base; and

WHEREAS, the MJPA is comprised of the County of Riverside, the City of Riverside, the City of Moreno Valley, and the City of Perris; and

WHEREAS, meetings of the March Joint Powers Commission (“Commission”) of the MJPA are subject to the Ralph M. Brown Act;

WHEREAS, Government Code § 54954.2 requires the MJPA to post the agenda containing a brief general description of each business item to be transacted or discussed at the meeting at least 72 hours in advance of the meeting time; and

WHEREAS, the current MJPA policy is to post the agenda 120 hours before the meeting, which is typically the Friday of the week before the meeting; and

WHEREAS, the Commission desires to establish a policy of posting its meeting agenda no less than 12 days prior to each regular meeting. .

NOW, THEREFORE, THE JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY RESOLVES AS FOLLOWS:

SECTION 1. The above recitals and staff report accompanying this Resolution are true and correct and are incorporated herein by this reference.

SECTION 2. Resolution JPA 19-27 is hereby rescinded and the Commission hereby establishes a policy requiring the MJPA’s Staff to release the Commission Agenda at least twelve (12) days before a regular meeting.

SECTION 3. The Commission finds this Resolution is not subject to the California Environmental Quality Act (CEQA) in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty, as in this case, that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

SECTION 4. If any provision of this Resolution or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications, and to this end the provisions of this Resolution are declared to be severable.

SECTION 5. This Resolution shall be effective immediately after its adoption.

PASSED, APPROVED, and ADOPTED at a regular meeting of the March Joint Powers Commission of the March Joint Powers Authority on this 11th day of September 2024.

Edward A. Delgado, Chair
March Joint Powers Commission

ATTEST:

I, Cindy Camargo, Clerk of the March Joint Powers Commission, do hereby certify that the foregoing Resolution JPA 24-20 was duly and regularly adopted by the March Joint Powers Commission at its regularly scheduled meeting on September 11, 2024 by the following vote:

Ayes:

Noes:

Abstain:

Absent:

Dated: September 11, 2024

Cindy Camargo, CPMC
Clerk, March Joint Powers Commission

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA - Reports, Discussions and Action Items
Agenda Item No. 9 (7)

Meeting Date: September 11, 2024

Report/Action: **ADOPT RESOLUTION JPA 24-25, SETTING THE DATE, TIME, AND LOCATION OF REGULAR MEETINGS OF THE MARCH JOINT POWERS COMMISSION, AND APPROVE AN AGREEMENT WITH RIVERSIDE COUNTY THAT WILL IMPLEMENT THE RESOLUTION**

Proposed Motion: Adopt Resolution JPA 24-25 setting the date, time, and location of regular meetings of the March Joint Powers Commission, and approve an agreement with Riverside County that will implement the resolution

Background:

In 2023, the Riverside County Civil Grand Jury (Grand Jury) began an interview process of March JPA staff pertaining to a proposed project within the jurisdiction of the March JPA, as well as an investigation of policies and procedures pertaining to land use practices within the March JPA. On April 10th, 2024, the Grand Jury delivered a report titled “Marginally Transparent” summarizing findings within their investigations, with recommendations for the JPA Commission’s consideration.

According to the Grand Jury report, the March JPA “generally follows the letter of the law” and while Authority activities “are transparent with the public, its transparency is principally limited to what is minimally required by the law”. The report provides 19 findings and nine recommendations for the Commission’s consideration. Comments F-7 through F-9 pertained to livestreaming and the lack of video recordings pertaining to March JPA Commission meetings.

At their May 8, 2024 meeting, the March JPA Commission considered responses to the Grand Jury report and directed staff to send a response letter to the Grand Jury within 90 days and, separately, review the feasibility of incorporating livestreaming services in future Commission meetings. During staff’s research the following options were discussed – a) utilize Western Municipal Water District’s livestreaming equipment and platform as well as IT experts during Commission meetings; b) hire a full time IT employee that would facilitate the Authority’s technology and platform needs to allow for livestreaming services at the Western Municipal Water District Board room during Commission meetings; or b) hold Commission meetings at the Riverside County Administrative Center Board Room that provides comprehensive livestream services and includes Riverside County IT support services that would help run meetings effectively. Staff presented their findings at the August 14, 2024 March JPA Commission meeting and given the cost and efficiencies offered by the County of Riverside, the

Commission directed staff to bring back a resolution that would allow them to move Commission meetings to the Riverside County Administrative Center, and change meeting dates to the first Wednesday of the month.

In compliance with the Commission's direction on accommodating the livestreaming of Commission meetings, staff recommends approval of Resolution JPA 24-25, a resolution of the Joint Powers Commission of the March Joint Powers Authority setting the date, time, and location of regular meetings of the March Joint Powers Commission as outlined below. Staff further recommends approval of an agreement with the County of Riverside that will implement the resolution.

Resolution JPA 24-25 states the following:

- a) Commencing October 2, 2024, regular meetings of the Commission shall convene at 3 p.m. on the first Wednesday of every month. If needed, the Commission shall hold an additional regular meeting on the third Wednesday of every month, though it is the Commission's policy to hold one meeting per month to the extent possible.
- b) Commencing October 2, 2024, regular meetings of the Commission shall be held in the Board Chambers at the County Administrative Center, located at 4080 Lemon Street, 1st Floor, Riverside, CA 92501. From time-to-time, in order to accommodate additional attendees, the regular meetings may be held at an alternative location within the jurisdiction of the MJPA. On such occasions, the alternative location will be clearly identified on the agenda and in any public hearing notifications in accordance with the Brown Act and other applicable law.

This Resolution is not subject to the California Environmental Quality Act (CEQA) in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty, as in this case, that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

Attachments:

- a) Resolution JPA 24-25
- b) Riverside County Agreement

RESOLUTION JPA 24-25

A RESOLUTION OF THE JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY SETTING THE DATE, TIME, AND LOCATION OF REGULAR MEETINGS OF THE MARCH JOINT POWERS COMMISSION

WHEREAS, the March Joint Powers Authority (“MJPA”) is a joint powers agency created by a joint powers agreement dated September 7, 1993 to act as the federally recognized reuse authority, local land use authority, redevelopment agency, and airport authority for the former March Air Force Base; and

WHEREAS, the MJPA is comprised of the County of Riverside, the City of Riverside, the City of Moreno Valley, and the City of Perris; and

WHEREAS, meetings of the March Joint Powers Commission (“Commission”) of the MJPA are subject to the Ralph M. Brown Act (the “Brown Act”);

WHEREAS, the Commission currently holds its regular meetings on the second and fourth Wednesdays of each month at 3 p.m.; and

WHEREAS, in recent years, the Commission has held its meetings at Western Municipal Water District - Board Room, 14205 Meridian Parkway, Riverside, California 92518; and

WHEREAS, in order to accommodate the livestreaming of Commission meetings, the Commission desires to change the time, date, and location of Commission meetings; and

WHEREAS, under Section 54954 of the Brown Act, the Commission shall provide for the time and place of its regular meetings by ordinance, resolution, bylaws, or another means for establishing rules of conduct for the Commission meetings.

NOW, THEREFORE, THE JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY RESOLVES AS FOLLOWS:

SECTION 1. The above recitals and staff report accompanying this Resolution are true and correct and are incorporated herein by this reference.

SECTION 2. **Commencing October 2, 2024**, regular meetings of the Commission shall convene at 3 p.m. on the first Wednesday of every month. If needed, the Commission shall hold an additional regular meeting on the third Wednesday of every month, though it is the Commission’s policy to hold one meeting per month to the extent possible.

SECTION 3. **Commencing October 2, 2024**, regular meetings of the Commission shall be held in the Board Chambers at the County Administrative Center, located at 4080 Lemon Street, 1st Floor, Riverside, CA 92501. From time-to-time, in order to accommodate additional attendees,

the regular meetings may be held at an alternative location within the jurisdiction of the MJPA. On such occasions, the alternative location will be clearly identified on the agenda and in any public hearing notifications in accordance with the Brown Act and other applicable law.

SECTION 4. The Commission finds this Resolution is not subject to the California Environmental Quality Act (CEQA) in that the activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty, as in this case, that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.

SECTION 5. If any provision of this Resolution or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications, and to this end the provisions of this Resolution are declared to be severable.

SECTION 6. This Resolution shall be effective immediately after its adoption. Any prior minute orders or resolutions of the Commission which are inconsistent with this Resolution are hereby repealed to the extent of the inconsistency.

PASSED, APPROVED, and ADOPTED at a regular meeting of the March Joint Powers Commission of the March Joint Powers Authority on this 11th day of September, 2024.

Edward A. Delgado, Chair
March Joint Powers Commission

ATTEST:

I, Cindy Camargo, Clerk of the March Joint Powers Commission, do hereby certify that the foregoing Resolution JPA 24-25 was duly and regularly adopted by the March Joint Powers Commission at its regularly scheduled meeting on September 11, 2024 by the following vote:

Ayes:

Noes:

Abstain:

Absent:

Dated: September 11, 2024

Cindy Camargo, CMC
Clerk, March Joint Powers Commission



Service Agreement
for
RCIT – Fiscal Admin Services Group
for
Departmental Request for Increased Service Levels

Requesting Department/Agency: _____

Requesting Department Contact Name/Phone: _____

The Department/Agency noted above is requesting increased service levels of support beginning _____ to _____. Under the approved county IT model, the following classifications can be requested (BSA, APP Developer, DBA, BPS) under this agreement. Other classifications may be available by exception if approved by the Executive Office and Chief Information Officer. Exception classification(s) require an explanation, see below. RCIT will bill the requesting Department/Agency monthly based on **actual cost** of employee(s). RCIT requires that Dedicated Staff must be funded to the end of current fiscal year. RCIT has the right to use dedicated staff upon occasion to fill County gaps.

Scope of Work: _____

RCIT Contact Name: _____

Requested IT Classification	FTE(s)	Monthly Estimate	Yearly Cost Estimate	Exception Approved

*Explanation for exception classification(s)



Request Department/Agency Accounting String								
%	Estimated Cost	Account (6 digits)	Fund (5)	Dept ID (6 or 10)	Program (5)	Class (5)	Grant (9)	Project Code (10)

Note: Please do not use an *INTERFUND* account.

By signing below, we acknowledge that we understand and agree to the scope of work as outlined above and the Requesting Department/Agency hereby authorizes payment for the above stated scope of work.

Both Department Officials or designees have agreed to execute this letter of authorization as of the beginning date shown above.

Requesting Department Official or designee
(Print)

Authorized designee
(Print)

Signature

Signature

Date

Date

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MJPA – Public Hearing
Agenda Item No. 10 (1)

Meeting Date: September 11, 2024

Action: **CONSIDER THE FOLLOWING ACTIONS AS THEY PERTAIN TO GREENS INV 11, LLC REQUEST INVOLVING A 3,596 SQUARE FOOT, AUTOMATED CAR WASH FACILITY, LOCATED WITHIN THE VETERANS PLAZA COMMERCIAL CENTER, LOCATED AT THE SOUTHEAST CORNER OF OPPORTUNITY WAY AND SYSCO WAY, NORTH OF VAN BUREN BOULEVARD, RIVERSIDE, CALIFORNIA: 1) ADOPT RESOLUTION JPA 24-24, FINDING THAT NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED PURSUANT TO STATE CEQA GUIDELINES SECTION 15162 AND APPROVING A CONDITIONAL USE PERMIT CUP 22-03, SUBJECT TO CONDITONS OF APPROVAL FOR THE DEVELOPMENT OF THE VETERANS PLAZA CAR WASH PROJECT; AND 2) DIRECT STAFF TO FILE A NOTICE OF DETERMINATION PURSUANT TO THE MARCH JPA LOCAL CEQA GUIDELINES**

Motions:

- 1) Adopt Resolution JPA 24-24, Finding that no further CEQA review is required pursuant to State CEQA Guidelines 15162 and approving a Conditional Use Permit CUP 22-03, subject to Conditions of Approval for the development of the Veterans Plaza Car Wash Project; and
- 2) Direct staff to file a Notice of Determination pursuant to the March JPA local CEQA guidelines.

Applicant: Greens INV 11, LLC

Background: Veterans Plaza Commercial Center Project (Veterans Plaza) consists of a commercial/service center within the North Campus of the Meridian Specific Plan Area, specifically at the northeast corner of Van Buren Boulevard and Opportunity Way. Veterans Plaza, proposed to be developed in two phases, consists of a 14.4-acre site that will be used for a mix of commercial uses, including hotels, convenience store, gas station, fast food, restaurants, dining, and retail

uses. The total building area on-site is approximately 219,695 square feet and includes 606 parking spaces.

On April 12, 2017 the March Joint Powers Commission adopted Resolution #JPA 17-03, approving a Master Conditional Use Permit (CUP 16-01), Plot Plan (PP 16-02), Tentative Tract Map (TM 37116), allowing for the subdivision of the project site pursuant to the Subdivision Map Act, into ten (10) lots, each with a lot of area of 30,000 sq. ft. minimum, and Variance (V16-01) for the development of a Commercial Center and Construction of Ten Buildings on Unit 4, Lot 4 within the Meridian Specific Plan (SP-5). The Commission also adopted Resolution #JPA 17-04 adopting an Addendum to the Certified Subsequent Environmental Impact Report for the Meridian Specific Plan Amendment. Finally, the Commission held the public hearing and first reading on Ordinance #JPA 17-01 to modify the Meridian Specific Plan (SP-5) to allow hotels in the B2 airport compatibility zone, subject to conditional use permit approval, consistent with current Riverside County Airport Land Use Commission (ALUC) restrictions.

On April 26, 2017, the Commission held a public hearing and second reading, and approved Ordinance #JPA 17-01.

On four occasions, November 29, 2018, September 19, 2019, February 3, 2021, and July 14, 2022, the Planning Director for the March Joint Power Authority, approved Determination of Substantial Conformances for Plot Plan 16-02. The Substantial Conformances mentioned above addressed minor modifications to the approved Plot Plan and Conditional Use Permit, including:

- Reorientation of the project site,
- change in project phasing,
- changes in building square footages and building locations,
- elimination of one driveway entry along Opportunity Way,
- minor modifications to the approved building elevations.
- Additional fuel pumps (2) for the Gas Station, and
- Site Circulation, Queuing, and Additional Parking

The changes associated with the previously approved development project are in substantial conformance with Plot Plan 16-02, approved by the Joint Powers Commission on April 12, 2017. It should be noted that the approved changes/modifications allowed the developer flexibility and to meet market demands and potential tenant requests.

Proposed Project:

On December 20, 2022, Greens INV 11, LLC (the “Applicant”), submitted an application to develop a 3,596 square foot, automated drive-through car wash facility on a 1.08-acre (47,045 sq. ft.) vacant site, within the Veterans Plaza. Specifically, the Veterans Plaza Car Wash Project (VPCWP) project site is located at the southeast intersection of Sysco Way and Opportunity Way.

On February 21, 2023, the Applicant asked Staff to review/consider a Determination of Substantial Conformance confirming that car washes were conditionally permitted uses within the Commercial Land Use District of the Meridian North Specific Plan. Currently, car wash uses are not expressly identified as a permitted use on the Meridian North Specific Plan Land

Use Table (Table III-1), within the Commercial Land Use District. However, the March JPA’s Development Code, not only lists a car wash as a specific use, but is listed as a permitted use, if the use is more than 300 feet away from a residential zone or require a Conditional Use Permit if the use is less than 300 feet away from a residential zone. While the proposed Project is within the Meridian Specific Plan Area, Staff reviewed the Applicant’s request and supporting documentation, along with the Development Code and Specific Plan, and on July 17, 2023, the Planning Director determined that the Car Wash use functions as a support use for the approximate 15,000 employees within the surrounding area of the Meridian Specific Plan Development Area. The use is similar to and no more objectionable than other permitted and conditionally permitted uses identified within the Meridian Specific Plan and the March JPA Development Code, as depicted within the Tables in this determination. Accordingly, the Planning Director confirmed that the proposed Project could be processed as a Conditional Use Permit approval. As an informational item, the Planning Director’s determination is included as Attachment 3 to this Staff Report.

On June 5, 2023, MIPA Staff introduced the proposed Project to the March Joint Powers Authority Technical Advisory Committee. During this meeting, the TAC asked that the building’s color scheme be revised to complement the other building colors within Vets Plaza. Since then, the Applicant has revised the building’s color scheme.

On September 9, 2024, MIPA Staff provided an update on the proposed Project to the March Joint Powers Authority Technical Advisory Committee.



Figure 1: Vicinity Map

The proposed project consists of a Conditional Use Permit, as summarized below.

Conditional Use Permit (CUP 22-03):

The proposed CUP would allow for the development of a 3,596 square foot, automated drive-through car wash facility on a 1.08-acre vacant site. The primary entrance to the car wash facility is oriented off of the Sysco Way/Opportunity Drive-drive aisle, leading into three stacking lanes, which will accommodate up to 16 cars. Customers will pay for service at the pay station and

then proceed to the car wash tunnel, approximately 108 feet in length, and remain in their car during the car wash cycle.

Upon exiting the carwash tunnel, customers will have the option of exiting the facility entirely or moving their vehicle to a covered vacuum/detailing area, with parking stalls which will accommodate up to 8 cars. The car wash facility will also include 2 onsite parking stalls and 2 ADA parking stalls, along with 6 bicycle parking spaces, one trash enclosure, landscaping, and associated paving. The building is single-story with varying building heights and a tower feature, with a maximum height is 29 feet. The building will also include a vending machine sales area, office, employee lounge, restroom and equipment room. The occupant load is approximately 928 square feet.

The project has been designed in accordance with the Meridian North Specific Plan (SP-5) Development Standards. At this time, the Applicant is in negotiations, to lease the facility to the Quick Quack Car Wash Company. The car wash facility will have up to four employees, working in two shifts, depending on demand.

Compliance with Meridian Specific Plan Development Standards:

Proposed Development		
Development Standard	Minimum/Maximum Required	Proposed Development
Minimum Site Area	30,000 sq. ft.	47,045 sq. ft. (1.08 acres)
Minimum Site Width	100'	236'
Minimum Site Depth	100'	200.5'
Building Area:	N/A	3,596 sq. ft.
Floor Area Ratio (Max):	0.35	0.08%
Minimum Setbacks:	Front: 25' Interior Side: 0' Street Side: 15' Rear: 10'	Front: 20' Interior Side: 0' Street Side: 20' Rear: 0'
Maximum Building Height:	50'	29'
Landscaping Required:	20%	16.8% (8,359 sq. ft.)
Parking:	-	12 spaces

Project Design:

The proposed Project has been designed to be architecturally compatible with surrounding development and the aesthetic character of the area. The proposed Project would be consistent with the Specific Plan Development Standards and guidelines to ensure visual compatibility. The Development Standards include site area, lot dimensions, building height, building setbacks, landscaping, and parking requirements.

The proposed Project would convert an existing, undeveloped site to an automated car wash facility with parking, circulation, and landscaping. Since the surrounding area is currently developed with primarily commercial, industrial, mixed use and business park uses, the proposed Project would add to the existing developed visual character of the site and surrounding vicinity.

The operation of the proposed use would complement the existing uses around the Project site and thus would not substantially degrade the existing visual character or quality of the Meridian Specific Plan Area.

A Traffic Consistency Memorandum has been submitted for the site and reviewed by March JPA’s traffic engineering consultant VRPA. The proposed development is found to be consistent with the traffic planning documents and mitigation measures identified in the SEIR.

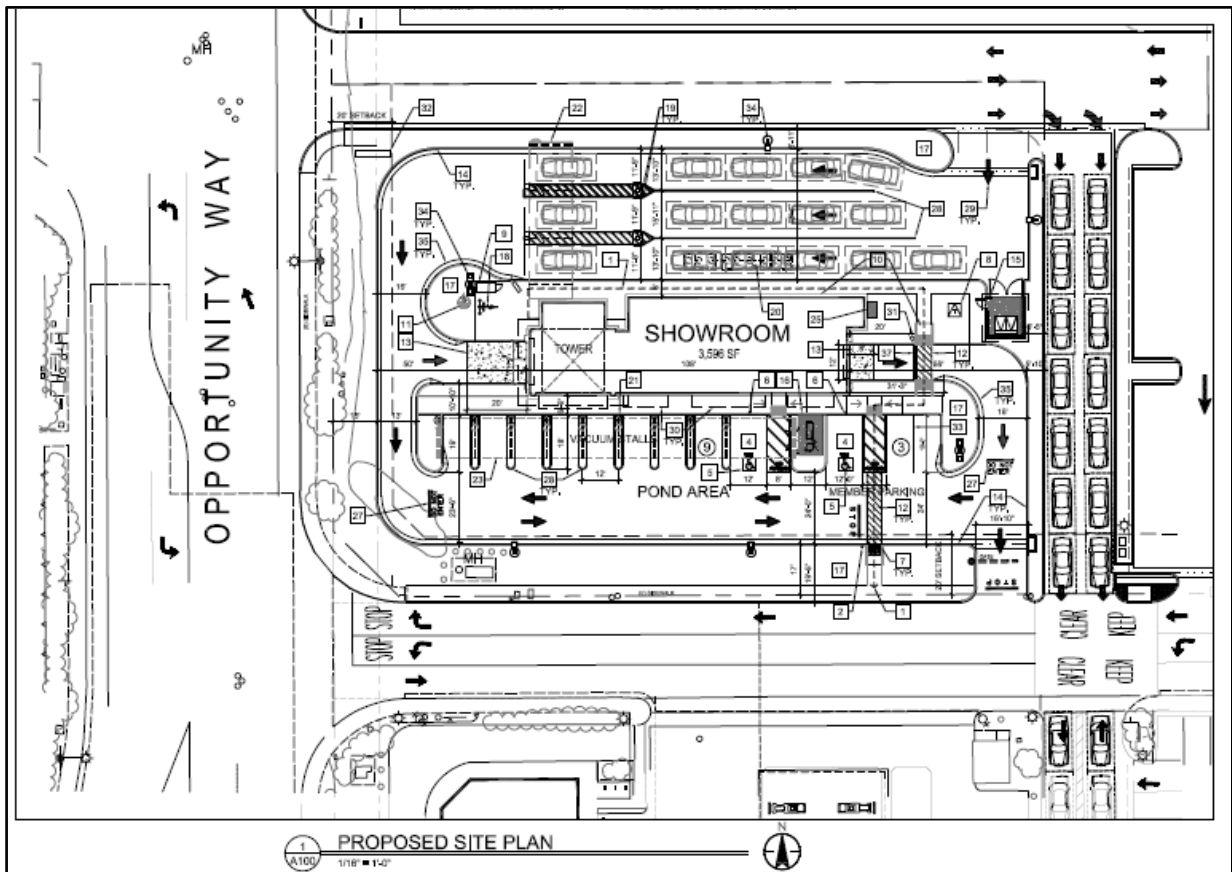


Figure 2: Site Plan

The following table is a summary of the proposed project associated with the Project Site Plan above:

Project Data	
Site Area	47,045 sq. ft. 1.08 acres
Building Area: Car Wash Building	3,596 sq. ft.
Parking Provided	Standard Parking: 2 Parking Spaces ADA Parking (Vans): 2 Parking Spaces Vacuum Area Parking: 8 Parking Spaces Bike Parking: 6 Spaces

The proposed building height, setbacks, parking, and landscape requirements are consistent with the Specific Plan Development Standards. Employee parking, carpool, and bicycle parking spaces provided on the proposed site plan (Figure 2: Site Plan) meet the parking standards required for Commercial uses.

Architecture/Color Palette:

The proposed commercial building architectural design would be a smooth honed/split faced, concrete masonry unit building including glass, reveals, metal roof and metal shading devices, score lines, bands of color, and other architectural design elements to create visual interest. The concrete masonry unit walls will feature the primary color of Placer Creek Burnished. In addition, other main building colors include Softer Tan (secondary field color) and Torchlight (base color) with accents of Dark Auburn (accent color) and Snowbound (accent color) with clear tempered glass features and anodized aluminum mullions. “Caramel Mountain” colored cultured stone, will be included along the base of the building.

Site Landscaping:

Landscaping would occur along the edges of the building to soften the look of the building. Landscaping shall incorporate native and drought tolerant vegetation with low irrigation requirements, and irrigation systems shall employ control systems and be designed to conserve water. A mix of Hearts of Gold Eastern Redbud, and Muskogee Crape Myrtle trees, along with accent shrubs, vines and groundcover including, but not limited to, Century Plant, Little John Weeping Bottlebrush, Rockrose, Red Yucca, Purple Trailing Lantana, Compact Texas Sage, Pink Muhly Grass, Bright Star Soft Leaf Yucca, Dwarf Southern Magnolia, Gold Lantana, Trailing Myoporum, and Trailing Rosemary, will be used on the project site perimeter and along the edges of the building to soften the look of the building itself. Landscaping shall conform to the standards and requirements of the Specific Plan Landscape Development Standards.

Exterior Lighting:

Given the proximity to the airport, all on-site lighting provides fully shielded fixtures (no light emitted above horizon), LED lighting, with an intensity below 2,700 Kelvin. high pressure or low-pressure sodium lighting, maximum 750 watts, maximum fixture height of 20’ above finished grade, and maximum lighting of 0.5 candle/foot² at the property line. Another option would be to provide LED lighting, with an intensity below 2,700 Kelvin. Accordingly, all exterior lighting complies with the exterior lighting requirements of the March JPA Development Code.

Signage:

All development signage is required to be consistent with the March Business Center Design Guidelines and the Veterans Plaza Sign Program, including building signage and freestanding signage. This is a separate application and review which has not been submitted at this time but is required to be approved by March JPA staff prior to the issuance of signage permits.

Building Height:

The maximum building height within the Commercial zoning district is 50’. The maximum building height for the proposed project is 29’.



Figure 3: Building Elevations

March JPA General Plan Consistency

In 1993, the federal government mandated the realignment of March Air Force Base (MAFB) and a substantial reduction in its military use. In April 1996, MAFB was re-designated to an Air Reserve Base (ARB). Approximately 6,500-acres of land that had historically supported MAFB was no longer needed to support the ARB. The cities of Moreno Valley, Perris, Riverside, and the County of Riverside formed the March Joint Powers Authority (MJPA) to oversee the dispensation and management of the surplus land. A General Plan and Master Environmental Impact Report were prepared and adopted/certified in 1999 for the MJPA planning area.

March ARB/IP Airport Land Use Plan:

The March ARB/Inland Port Airport Land Use Compatibility Plan (ALUCP) was prepared for and adopted by the Riverside County Airport Land Use Commission (RCALUC) on November 13, 2014. The purpose of the March ARB/Inland Port ALUCP is to promote compatibility between March ARB/Inland Port and the land uses that surround the joint-use airport. The March ARB/Inland Port ALUCP regulates future development of new residential dwellings, commercial structures, and other noise or risk-sensitive uses within the Airport Influence Area based on factors enumerated in the ALUCP, including but not limited to noise, overflight, safety, and airspace protection.

Regarding the Project site, it is located within compatibility Zones B2 and C1 (Map MA 1, Mead & Hunt 2014). The applicant does not propose any uses prohibited or discouraged in Compatibility Zones B2 and C1(children’s schools, day care centers, hospitals, nursing homes, libraries, places of assembly, highly noise-sensitive outdoor nonresidential uses and hazards to flight).

The project proposes to construct a 3,596 square foot drive-thru Car Wash Building, which includes 3,596 square feet of retail area and 16-stack vehicles, accommodating a total occupancy of 55 people, resulting in an average intensity of 60 people per acre, which is consistent with the

Compatibility Zone C1 average intensity criterion of 100 people per acre. There is no development proposed within Zone B2.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would include 3,596 square feet of retail area, and 16-stack vehicles, resulting in a single acre occupancy of 55 people, is consistent with the Compatibility Zone C1 single acre criterion of 250. There is no development proposed within Zone B2.

On June 13, 2024, the Riverside County Airport Land Use Commission (RCALUC) determined that the Conditional Use Permit for the proposed Car Wash Facility Project is CONSISTENT with the 2014 March ARB/IP Airport Compatibility Plan. The RCALUC Commission approved conditions are incorporated into the March Joint Powers Commission's Conditions of Approval for the Project and included in Exhibit "B", Resolution #JPA 24-24.

California Environmental Quality Act Compliance:

CEQA and the State Guidelines for Implementing CEQA ("State CEQA Guidelines"; California Code of Regulations Section 15000 et seq.) require that state and local agencies: (1) Inform governmental decision-makers and the public about the potential, significant environmental effects of proposed activities; (2) Identify the ways that environmental damage can be avoided or significantly reduced; (3) Prevent significant, avoidable damage to the environment by requiring changes in Projects through the use of alternatives or mitigation measures when the governmental agency finds the changes to be feasible; and (4) Disclose to the public the reasons why a governmental agency approved the Project in the manner the agency chose if significant environmental effects are involved.

Subsequent EIR for Meridian Business Park Specific Plan Amendment

The March Business Center Specific Plan North Campus Subsequent EIR was prepared to inform decision makers, and the public of the potential significant environmental effects associated with the 257.7-acre portion March Business Center Specific Plan Amendment Project (inclusive of the proposed Project site). The purpose of the Subsequent EIR was to focus the discussion on those potential effects on the environment which the lead agency determined may be significant. In addition, feasible mitigation measures were recommended, when applicable, would reduce significant environmental impacts or avoid significant environmental impacts. On July 21, 2010, the March Joint Powers Commission considered and adopted findings, approved a Mitigation Monitoring and Reporting Plan, certifying the March Business Center Specific Plan North Campus Subsequent EIR. (SCH# 2009071069) (Resolution #JPA 10-20)

Addendum to the Certified Subsequent EIR

In accordance with section 15183(a) of the CEQA Guidelines, "CEQA mandates that Projects which are consistent with the development density established by existing zoning, community plan, or general plan policies for which an EIR was certified shall not require additional environmental review, except as might be necessary to examine whether there are Project-specific effects which are peculiar to the Project or its site. This streamlines the review of such Projects and reduces the need to prepare repetitive environmental documents". An Addendum to the Subsequent Environmental Impact Report for the Meridian Specific Plan Amendment, was prepared for the Veterans Plaza Commercial Center Project, which tiered off the previous environmental analysis from the Master EIR and Subsequent EIR. The analysis concluded that the Veterans Plaza Commercial Project would not result in any new significant environmental

impacts or substantially increase the severity of significant unavoidable impacts evaluated in the Meridian SP-5 Subsequent EIR. In addition, the Veterans Plaza Commercial Center Project would not result in additional impacts and would not require additional mitigation measures. On April 12, 2017, the March Joint Powers Commission considered and adopted Resolution #JPA 17-04, adopting an Addendum to the Certified Subsequent Environmental Impact Report for the Meridian Specific Plan Amendment.

The Current Proposal for a Car Wash Project

The proposed Veterans Plaza Car Wash Project, helps to implement the Meridian Business Park Specific Plan and the Veterans Plaza Commercial Center Project. The proposed Project is consistent with the scope of the development program evaluated in the Addendum to the Certified Subsequent EIR and consistent with the land use designations and development intensities associated with the March Joint Powers Authority previously approved Veterans Plaza Commercial Center Project and permitted by the Meridian Business Park Specific Plan Amendment (SP-5, A5). Thus, the Veterans Plaza Car Wash Project is within the scope of the development program evaluated in the Addendum to the Certified Subsequent EIR and no subsequent environmental documentation is required pursuant to Section 15162 of the California Environmental Quality Act Guidelines. No further environmental review or additional mitigation measures are required.

Staff Recommendation:

Staff recommends that the March Joint Powers Commission take the following actions:

- 1) Adopt Resolution #JPA 24-24, Finding that no further CEQA review is required pursuant to State CEQA Guidelines 15162 and approving a Conditional Use Permit CUP 22-03, subject to Conditions of Approval for the development of the Veterans Plaza Car Wash Project; and
- 2) Direct staff to file a Notice of Determination pursuant to the March JPA Local CEQA Guidelines.

Attachments:

1. Resolution JPA 24-24, Finding that no further CEQA review is required pursuant to State CEQA Guidelines 15162 and approving a Conditional Use Permit CUP 22-03, subject to Conditions of Approval for the development of the Veterans Plaza Car Wash Project.
 - *Exhibit A: Conditional Use Permit (CUP 22-03)*
 - *Plan Set:*
Site Plan, Floor & Roof Plans, Building Elevations, Color/Material Board, Conceptual Landscape Plan, Conceptual Grading Plan, Conceptual Utility Plan
 - *Exhibit B: Conditions of Approval*
2. Notice of Determination.
3. Planning Director's July 17, 2024, Determination of Substantial Conformance

ATTACHMENT 1

Veterans Plaza Car Wash Project Conditional Use Permit 22-03

RESOLUTION # JPA 24-24

A RESOLUTION OF THE MARCH JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY APPROVING CONDITIONAL USE PERMIT CUP 22-03, SUBJECT TO CONDITIONS OF APPROVAL, FOR THE DEVELOPMENT OF THE VETERANS PLAZA CAR WASH PROJECT AND FINDING THAT NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED PURSUANT TO STATE CEQA GUIDELINES SECTION 15162

- *Exhibit A: Conditional Use Permit 22-03*
 - *Plan Set:
Site Plan, Floor & Roof Plan, Building Elevations,
Conceptual Landscape Plan, Conceptual Grading Plan*

- *Exhibit B: Conditions of Approval*

RESOLUTION JPA 24-24

A RESOLUTION OF THE MARCH JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY APPROVING CONDITIONAL USE PERMIT CUP 22-03, SUBJECT TO CONDITIONS OF APPROVAL, FOR THE DEVELOPMENT OF THE VETERANS PLAZA CAR WASH PROJECT AND FINDING THAT NO FURTHER ENVIRONMENTAL REVIEW IS REQUIRED PURSUANT TO STATE CEQA GUIDELINES SECTION 15162

WHEREAS, the March Joint Powers Authority (“Authority” or “March JPA”) is a joint powers agency created by a joint powers agreement dated September 7, 1993 (“Joint Powers Agreement”), as amended, to act as the federally recognized reuse authority, local land use authority, redevelopment agency, and airport authority for the former March Air Force Base; and

WHEREAS, the March JPA is comprised of the County of Riverside, the City of Riverside, the City of Moreno Valley, and the City of Perris; and

WHEREAS, the approximately 6,500 acres formerly known as the March Air Force Base was placed under the jurisdiction of the March JPA pursuant to the Retrocession of Legislative Jurisdiction from the United States, recorded in the County of Riverside on May 17, 1996, and Chapter 663 of the Statutes of 1996 of the State of California, effective on September 19, 1996; and

WHEREAS, pursuant to Government Code section 6502 and section 1 of the Joint Powers Agreement, as amended, the member entities have delegated to the March JPA the power and authority to create a joint planning agency pursuant to Government Code section 65101 to exercise the powers and perform the duties set forth in Division 1 of Title 7 (commencing with section 65000) of the Government Code for the March Air Force Base (“MJPA Planning Area”); and

WHEREAS, on July 21, 2010, the March Joint Powers Commission approved the March Business Center Specific Plan Amendment Project (including of the Project site) which addressed development on the 257.7-acre North Campus (inclusive of the proposed Project site), and certified a Subsequent EIR that fully analyzed the potential impacts of that development. In addition, mitigation measures were adopted that would reduce significant environmental impacts to the extent feasible (SCH#2009071069) (Resolution JPA 10-20); and

WHEREAS, on April 12, 2017, the March Joint Powers Commission adopted Resolution JPA 17-03, approving a Master Conditional Use Permit (CUP 16-01), Plot Plan (PP 16-02), Tentative Tract Map (TM 37116), allowing for the subdivision of the project site pursuant to the Subdivision Map Act, into ten (10) lots, each with a lot of area of 30,000 sq. ft. minimum, and Variance (V16-01) for the development of the Veterans Plaza Commercial Center and Construction of Ten Buildings on Unit 4, Lot 4, totaling 219,695 square feet of commercial building space on 14.4-acres, located at the northeast corner of Van Buren Boulevard and Opportunity Way, within the March Joint Powers Authority (JPA) jurisdictional boundaries, in unincorporated Riverside County, California

WHEREAS, on April 12, 2017, the March Joint Powers Commission also adopted

Resolution JPA 17-04, adopting an Addendum to the Certified Subsequent Environmental Impact Report for the Meridian Specific Plan Amendment (SP-5, A3) (SCH#2009071069).

WHEREAS, on April 26, 2017, the March Joint Powers Commission adopted Ordinance JPA 17-01 to modify the Meridian Specific Plan (SP-5) to allow hotels in the B2 airport compatibility zone, subject to conditional use permit approval, consistent with Riverside County Airport Land Use Commission (ALUC) restrictions.

WHEREAS, on four occasions, November 29, 2018, September 19, 2019, February 3, 2021, and July 14, 2022, the Planning Director for the March Joint Power Authority, approved Determination of Substantial Conformances for Plot Plan 16-02. The Substantial Conformances mentioned above addressed minor modifications to the approved Plot Plan and Conditional Use Permit, including:

- Reorientation of the project site,
- Change in project phasing,
- Changes in building square footages and building locations,
- Elimination of one driveway entry along Opportunity Way,
- Minor modifications to the approved building elevations,
- Additional fuel pumps (2) for the Gas Station, and
- Site Circulation, Queuing, and Additional Parking.

The changes associated with the previously approved development project are in substantial conformance with Plot Plan 16-02, approved by the Joint Powers Commission on April 12, 2017. It should be noted that the approved changes/modifications allowed the developer flexibility and to meet market demands and potential tenant requests

WHEREAS, on December 20, 2022, the Applicant, Greens INV 11, LLC, submitted an application (which constitute “Project Entitlements”) requesting the following:

1. Conditional Use Permit (CUP 22-03) to allow for the development of a 3,596 square foot, automated drive-through car wash facility on a 1.08-acre (47,045 sq. ft.) vacant site, within the Veterans Plaza Commercial Center, located at the southeast intersection of Sysco Way and Opportunity Way, within the March Joint Powers Authority (JPA) jurisdiction in unincorporated Riverside County, California. The car wash facility will include three stacking lanes, which will accommodate up to 16 cars, include a covered vacuum/detailing area, with parking stalls which will accommodate up to 8 cars, 2 onsite parking stalls, 2 ADA parking stalls, along with 6 bicycle parking spaces, one trash enclosure, landscaping, and associated paving. The building is single-story with varying building heights and a tower feature, with a maximum height is 29 feet. The project has been designed in accordance with the Meridian North Specific Plan (SP-5) Development Standards

WHEREAS, this Conditional Use Permit (CUP 22-03), allowing for the construction and operation of a Car Wash, collectively constitutes the “Project” for purposes of the California Environmental Quality Act (Pub. Resources Code, § 21000 et seq.) (“CEQA”); and

WHEREAS, car wash uses are not expressly identified as permitted uses on the Meridian North Specific Plan Land Use Table (Table III-1), within the Commercial Land Use District. Thus, on February 21, 2023, the Applicant asked Staff to review/consider a Determination of Substantial Conformance confirming that car washes were a conditionally permitted uses within the Commercial Land Use District of the Meridian North Specific Plan; and .

WHEREAS, on July 17, 2023, the Planning Director for the March Joint Power Authority, determined that a car wash use is similar to and no more objectionable than other permitted and conditionally permitted uses identified within the Meridian Specific Plan and the March JPA Development Code, and approved a Determination of Substantial Conformance 23-01, interpreting the Meridian North Specific Plan to allow a car wash use within the commercial land use zone of the Meridian North Specific Plan for Plot Plan 16-02; and .

WHEREAS, pursuant to CEQA, when taking subsequent discretionary actions in furtherance of a project for which an EIR has already been certified, an agency shall not require additional CEQA analysis unless at least one of the circumstances identified in Public Resources Code section 21166 or State CEQA Guidelines section 15162 and the March JPA’s Local CEQA Guidelines, are present; and

WHEREAS, on September 11, 2024, the Commission conducted a duly-noticed public hearing pursuant to the March JPA Development Code on the proposed Project Entitlement, at which time all persons wishing to testify in connection with the proposed Project Entitlement were heard and the proposed Project Entitlement was comprehensively reviewed; and

WHEREAS, all other legal prerequisites to the adoption of this Resolution have occurred.

NOW, THEREFORE, THE MARCH JOINT POWERS COMMISSION OF THE MARCH JOINT POWERS AUTHORITY DOES RESOLVE AS FOLLOWS:

SECTION 1. Recitals. The above recitals are true and correct and incorporated herein as findings or fact.

SECTION 2. Compliance with the California Environmental Quality Act. Based on the recitals above, the March Joint Powers Commission previously certified a Subsequent EIR and a subsequent Addendum, which fully analyzed the potential environmental impacts of development of the Project site. The currently proposed Project would develop a car wash site within that previously analyzed development footprint, such that no further environmental review is required under CEQA unless one of the circumstances identified in Public Resources Code section 21166, State CEQA Guidelines 15162, or the March JPA’s Local CEQA Guidelines is present.

SECTION 3. Findings on Environmental Impacts. Based on the previously completed CEQA analysis, the proposed Project description, the consistency discussion prepared by staff and the JPA’s expert consultants, and other evidence in the administrative record, and having

considered all written and oral evidence presented to the Commission, the Commission finds that all environmental impacts of the Project have been fully addressed within the previously certified SEIR and Addendum. The Commission further finds that none of the conditions identified in Public Resources Code section 21166, State CEQA Guidelines section 15162, or the March JPA's Local CEQA Guidelines requiring subsequent environmental review have occurred, because:

(a) The Project does not constitute a substantial change that would require major revisions of the Final SEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects.

(b) There is not a substantial change with respect to the circumstances under which the Project will be developed that would require major revisions of the Certified Final SEIR due to the involvement of new significant environmental effects or a substantial increase in the severity of the previously identified significant effects.

(c) New information of substantial importance has not been presented that was not known and could not have been known with the exercise of reasonable diligence at the time the Certified Final SEIR was certified or adopted, showing any of the following: (i) that the modifications would have one or more significant effects not discussed in the earlier environmental documentation; (ii) that significant effects previously examined would be substantially more severe than shown in the earlier environmental documentation; (iii) that mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects, but the applicant declined to adopt such measures; or (iv) that mitigation measures or alternatives considerably different from those analyzed previously would substantially reduce one or more significant effects on the environment, but which the applicant declined to adopt.

SECTION 5 Findings for Conditional Use Permit (CUP 22-03). Based on the entire record before the Commission and all written and oral evidence presented to the Commission, the Commission makes the following findings for approval of Conditional Use Permit 22-03, in accordance with Section 9.02.060 of the March JPA Development Code:

1. The proposed Project is consistent with the goals, objectives, policies and programs of the March JPA General Plan because the proposed Project is a part of a balanced mix of land uses that contribute to the regional setting and expands upon the existing physical and economic potential of the General Plan and the Meridian Specific Plan Amendment (SP-5) and will systematically implement the goals and objectives of the General Plan and the Meridian Specific Plan (SP-5); and
2. The proposed Project complies with all applicable zoning and other regulations because the Project complies with all the requirements of Section 9.02.060 of the March JPA Development Code, the requirements and development guidelines of the Meridian Specific Plan SP-5 and with the 2014 March ARB/IP Airport Compatibility Plan. The proposed Project was also reviewed by the March JPA Review team, consisting of the March JPA Civil Engineer, Water Quality Engineer, Land Use Planner, Riverside County Fire Marshall, March JPA (Willdan) Building Plans Examiner, and the proposed development complies with all required development standards, and

3. The proposed Project will not be detrimental to the public health, safety, or welfare or materially injurious to properties or improvements in the vicinity because the Project is consistent with Chapters 9.04 (Commercial Districts), 9.13 (Specific Plan) and Meridian Specific Plan Amendment SP-5. The Project proposes to construct a 3,596 square foot drive-thru car wash facility which includes 3,596 square feet of retail area and 16-stack vehicles, accommodating a total occupancy of 55 people, resulting in an average intensity of 60 people per acre, and which is consistent with both ALUC Compatibility Zone C1 average intensity criterion of 100 people per acre and single acre criterion of 250 people per acre. Last, the Project will not adversely affect public health, safety, or general welfare because the Project is fully supported by existing infrastructure, including: Sysco Way and Opportunity Way, Interstate 215 Freeway, existing services such as, nearby, public transportation, sidewalks, bike lanes, and fire and police protection, which are already serving the Project Site, such that there is no major extension of infrastructure at the expense of the March JPA, and
4. The location, design, and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity because the Applicant proposes to develop a fully automated car wash facility in a location that is surrounded by existing business park and commercial development uses, south of Sysco Way, to the east and west of Opportunity Way, north of Van Buren Boulevard, and adjacent to existing commercial uses within the Veterans Plaza Commercial Center. Accordingly, the location, design, and operation of the proposed Project will be compatible with existing and planned land uses in the vicinity; and

SECTION 6 Approval of Project Entitlement. Based on the entire record before the Commission, all written and oral evidence presented to the Commission, and the findings made in this Resolution, the Commission hereby approves the proposed Project Entitlement, including Conditional Use Permit (CUP 22-03) Plan Set (Site Plan, Floor and Roof Plan, Building Elevations, Conceptual Landscape Plan and Conceptual Grading Plan), as shown on **Exhibit "A"**, attached hereto and incorporated herein by this reference, subject to the Conditions of Approval, as shown on the attached **Exhibit "B"**, attached hereto and incorporated herein by this reference.

SECTION 7 Notice of Determination. The Commission directs March JPA staff to prepare, execute, and file a Notice of Determination with the Riverside County Clerk within five (5) working days of the passage and adoption of this Resolution (JPA 24-24).

SECTION 8. Custodian of Records. The documents and materials that constitute the record of proceedings on which these findings are based are located at the Office of the Clerk, March JPA, 14205 Meridian Parkway, Suite 140, Riverside, CA 92518.

SECTION 9. Execution of Resolution. The Chair of the Commission of March JPA shall sign this Resolution and the Clerk of March JPA shall attest and certify to the passage and adoption thereof.

SECTION 10. Effective Date. This Resolution shall be effective upon its adoption.

PASSED, APPROVED, AND ADOPTED this 11th day of September, 2024.

Edward A. Delgado, Chair
March Joint Powers Authority Commission

ATTEST:

I, Cindy Camargo, Clerk of the March Joint Powers Commission, do hereby certify that the foregoing Resolution JPA 24-24 was adopted by the March Joint Powers Commission of the March Joint Powers Authority at a regular meeting thereof held on September 11, 2024, by the following vote of the Commission:

Ayes:

Noes:

Abstain:

Absent:

Dated: September 11, 2024

Cindy Camargo, Clerk
March Joint Powers Authority Commission

EXHIBIT A

Veterans Plaza Car Wash Project
Conditional Use Permit (CUP 22-03)

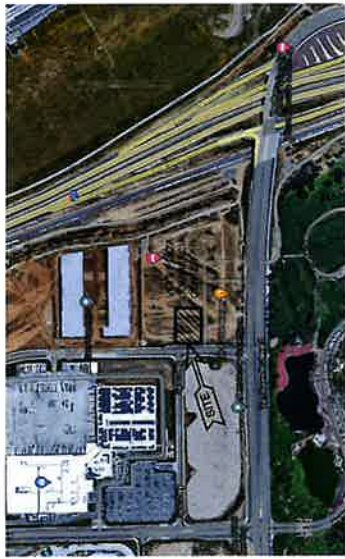
Plan Set:

Site Plan, Floor & Roof Plans, Building Elevations,
Conceptual Landscape Plan, Conceptual Grading Plan

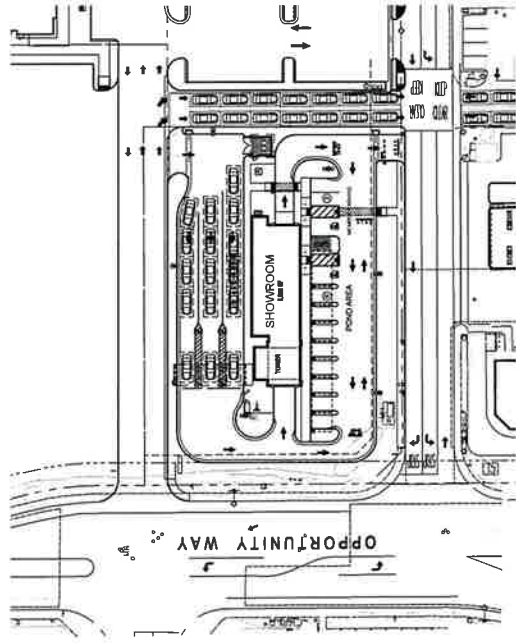


NEW CAR WASH FACILITY

OPPORTUNITY WAY & VAN BUREN BOULEVARD
RIVERSIDE, CA
APN: 294-070-044
QUICK QUACK SITE I.D. #44-296
M/JPA CUP 22-03



VICINITY MAP



OVERALL SITE PLAN

- SHEET INDEX**
- C000 COVER SHEET
 - A100 SITE PLAN - PLANNING
 - A200 FLOOR PLAN
 - A300 DIMENSION FLOOR PLAN
 - A301 EXTERIOR ELEVATIONS
 - A302 EXTERIOR ELEVATIONS
 - A303 EXTERIOR ELEVATIONS
 - A400 BUILDING EXTERIOR ELEVATIONS
 - A401 BUILDING EXTERIOR ELEVATIONS
 - A402 BUILDING EXTERIOR ELEVATIONS
 - A800 LANDSCAPE PLAN - COLOR
 - L1 LANDSCAPE PLAN - COLOR
 - L2 PRELIMINARY GRADING PLAN

SCOPE OF WORK:

CONSTRUCTING A NEW QUICK QUACK WASH FACILITY ON AN UNDEVELOPED SITE. BUILDING TO BE CONSTRUCTED USING CM@ RISK METHOD. GRADING, PAVING, VACUUM COLLECTION SYSTEM, SIGNAGE, LANDSCAPING, FURNISHINGS, STATIONS WITH CANOPIES, UTILITIES AND ALL ASSOCIATED FIXTURES, FURNISHINGS AND EQUIPMENT AND SIGNAGE.

LEGAL DESCRIPTION

ACRES 6.47000000 ACREAGE/CALCODE ML LOT 4-P LOTTYPE L REQWATYPE MAP/PLAT 435 MAP/PLAT 006 SUBDIVISIONNAME TR 30857-4

PROJECT DIRECTORY

PROPERTY OWNER
QUICK QUACK CAR WASH
11111 VAN BUREN BLVD
RIVERSIDE, CA 92504
TEL: 951-509-0000
WWW.QUICKQUACK.COM

APPLICANT
QUICK QUACK CAR WASH
11111 VAN BUREN BLVD
RIVERSIDE, CA 92504
TEL: 951-509-0000
WWW.QUICKQUACK.COM

LANDSCAPE ARCHITECTURE
DUAS STREET LANDSCAPE ARCHITECTURE
1000 S. GARDEN ST. SUITE 200
RIVERSIDE, CA 92507
TEL: 951-509-0000
WWW.DUASSTREETLANDSCAPE.COM

CIVIL ENGINEER
TRACY-KORSAK ENGINEERING
1000 S. GARDEN ST. SUITE 200
RIVERSIDE, CA 92507
TEL: 951-509-0000
WWW.TRACY-KORSAK.COM

PROJECT INFORMATION:

ADDRESS:
STATE SITE CODE: 44-296
STREET ADDRESS: OPPORTUNITY WAY & VAN BUREN BLVD
CITY: RIVERSIDE
COUNTY: RIVERSIDE
STATE: CALIFORNIA

SITE:
PROJECT SITE AREA: 48,658 S.F. (1.14 ACRES)
ZONED: COMMERCIAL (COM), MERIDIAN NORTH
COMMERCIAL SPECIFIC PLAN (SP-5)
APN: 294-070-044

PLANNING/ZONING:
MARCH JOINT POWERS AUTHORITY: CONDITIONAL USE PERMIT (CLIP 22-03)

FRONT: 20'
SIDES: 0', 20' AT SIDE STREET
NEW LANDSCAPING AREA: 9,359 SF
LANDSCAPING %: 16.8%

QUICK QUACK PARKING

PARKING REQUIRED: 12 STALLS
34 STALLS
14' x 19'
VACUUM STALL PARKING
MEMBER PARKING
ADA PARKING
9' x 19' & 14' x 19'

BUILDING CODE:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
CALIFORNIA CODE REGULATIONS TITLE 24 FOR DISABLED ACCESS, CHAPTER 11B
CONSERVATION & NOISE ATTENUATION
GREEN BUILDING CODE
2019 CALIFORNIA GREEN BUILDING CODE
ENERGY CODE
2019 CALIFORNIA ENERGY CODE

BUILDING DATA:

CAR WASH BLDG.: 3,596 S.F.
OCCUPANCY: B
FLOOR FINISH TYPE: VB (NON-SPRINKLED)
NUMBER OF STORIES: 29'-0" (MAIN BLDG. PARAPET)
BUILDING HEIGHT:

CANOPIES

NORTH VACUUM CANOPY:
OCCUPANCY: B
FLOOR FINISH TYPE: VB (NON-SPRINKLED)
NUMBER OF STORIES: 9'-9"
BUILDING HEIGHT:

SOUTH VACUUM CANOPY:
OCCUPANCY: B
FLOOR FINISH TYPE: VB (NON-SPRINKLED)
NUMBER OF STORIES: 9'-9"
BUILDING HEIGHT:

QUEING CANOPY:
OCCUPANCY: B
FLOOR FINISH TYPE: VB (NON-SPRINKLED)
NUMBER OF STORIES: 9'-9"
BUILDING HEIGHT:

TRASH ENCLOSURE CANOPY:
OCCUPANCY: B
FLOOR FINISH TYPE: VB (NON-SPRINKLED)
NUMBER OF STORIES: 11'-0"
BUILDING HEIGHT:

TOTAL CANOPIES: 3,949 S.F.

OCCUPANT LOAD ANALYSIS

LOAD FACTOR BASED ON USAGE PER IRC TABLE 1004.5
NUMBER OF BAYTS PER BIC 1006
BUSINESS USES: ROOMS 106, 107 AND 108
OCCUPANT LOAD AT 150 S.F. PER OCCUPANT
BREAKROOM USES: ROOMS 102
OCCUPANT LOAD AT 15 S.F. PER OCCUPANT
ACCESSORY STORAGE AREAS
FLOOR AREA GROUPS: ROOMS 104, 104, AND 105
OCCUPANT LOAD AT 200 S.F. PER OCCUPANT
TOTAL OCCUPANT LOAD: 14

MINIMUM OF ONE EXIT REQUIRED FROM EACH ROOM OR SPACE
MINIMUM EGRESS WIDTH TABLE 1005.1
0.2 X 14 = 2.8" (OK)

NOTE:
FOR WASH TUNNEL ROOM 101 IS NOT CONSIDERED TO MEET THE IRC SECTION 202 DEFINITION OF AN EXIT. THE ROOM IS NOT CONSIDERED TO BE AN EXIT ROOM. THE ROOM IS NOT CONSIDERED TO BE AN EXIT ROOM WHEN FUNCTIONING. THIS OPERATION IT IS NECESSARY FOR THE ROLL-UP DOORS AT EACH END TO BE IN THE OPEN POSITION.



NO.	DATE	DESCRIPTION
1	11/14/20	ISSUE FOR PERMITTING
2	11/14/20	
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30	11/14/20	



COVER SHEET
QUICK QUACK CARWASH # 44-296
OPPORTUNITY WAY + VAN BUREN BLVD.
RIVERSIDE, CA

Project Number: 202113018
Date: 11/14/20
Drawn By: [Name]
Checked By: [Name]
Approved By: [Name]

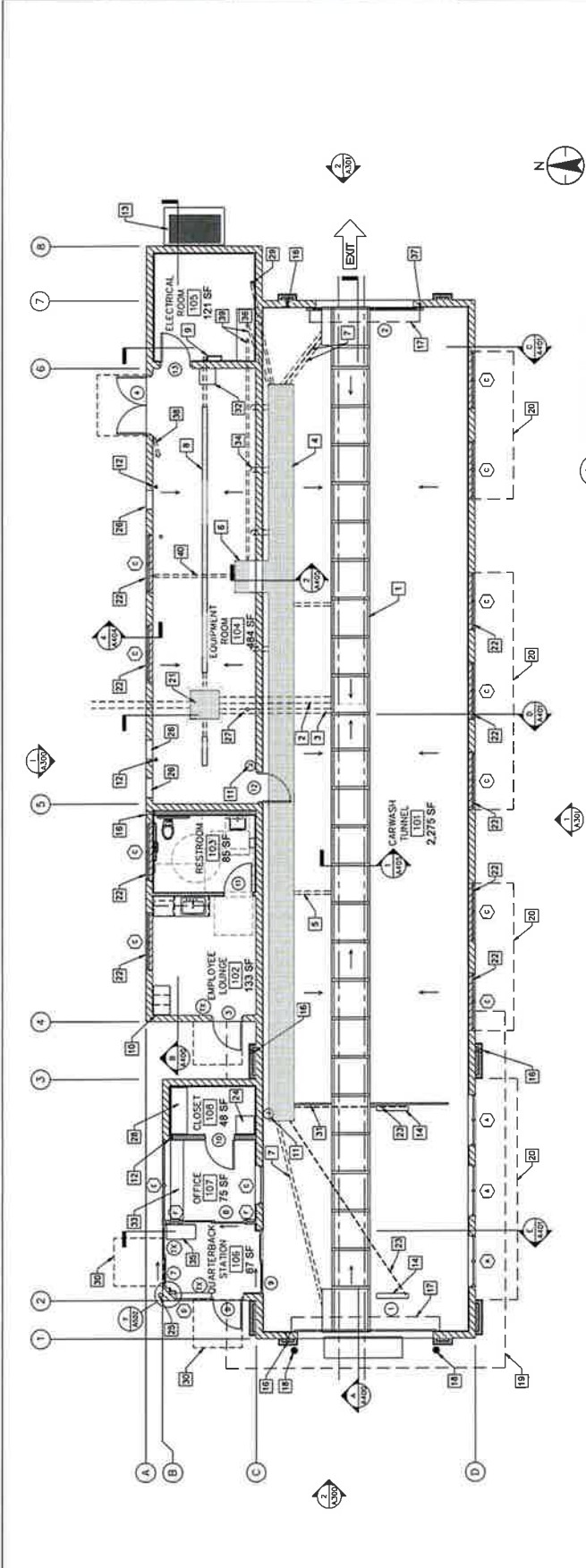
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39	11/14/10	ISSUED FOR PERMITS
40	11/14/10	ISSUED FOR PERMITS

PROJECT NO. 200715016
 DATE: 11/14/10

PROJECT NAME: QUICK QUACK CARWASH # 44-288
 ADDRESS: OPPORTUNITY WAY + VAN BUREN BLVD.
 RIVERSIDE, CA

FLOOR PLANS

Scale: 3/16" = 1'-0"



- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - SEE DRAWING SET FOR DIMENSIONS.
 - SEE DRAWING SET FOR WALL TYPES.
 - SEE DRAWING SET FOR FINISH FLOOR ELEVATIONS.
 - SEE SITE PLAN FOR ACCESSIBLE PATH OF TRAVEL.
 - EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
 - GC TO COORDINATE ALL REQUIRED BLOCKING FOR INSTALLATION HEIGHTS, ETC FOR PROPER INSTALLATION HEIGHTS.
 - TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS: (1) CORRIDORS REQUIRE EXIT SIGNS FROM A ROOM OR AREA TO A CORRIDOR OR HALLWAY; (2) TACTILE EXIT SIGN SHALL BE REQUIRED AT EACH GRADE-LEVEL EXIT DOOR; (3) TACTILE EXIT SIGN SHALL HAVE THE WORD, "EXIT".
- ### FIRE NOTES
- PROVIDE SIGNS ABOVE ALL EXIT DOORS READING: "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" 2019 CBC SECTION 1008
 - PROVIDE MEANS OF EGRESS ILLUMINATION PER CBC SECTION 1008
 - ALL EGRESS DOORS OF THIS BUILDING SHALL BE MAIN ENTRANCE DOORS. ALL OTHER DOORS SHALL BE UNLOCKED FROM THE INTERIOR. THE SIZE OF THE FIRE EXTINGUISHER SHALL BE DETERMINED BY THE DEPARTMENT.
 - INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CBC CHAPTER 8.
 - PROVIDE A SIGN STATING "MAXIMUM OCCUPANT LOAD" AND SIGN LOCATION WITH LOCAL FIRE DEPARTMENT.
- ### OCCUPANT LOAD ANALYSIS
- LOAD FACTOR BASED ON GRADE PER CBC THREE 1004S
- | | | | |
|----------------------|-------------------------|----------|----|
| OFFICE | ROOM 107 | 75 SF | 1 |
| RESTROOM | ROOM 103 | 85 SF | 1 |
| ELECTRICAL ROOM | ROOM 105 | 121 SF | 1 |
| CARWASH TUNNEL | ROOM 101 | 2,275 SF | 1 |
| STATION | ROOM 106 | 87 SF | 1 |
| CLUSTER | ROOM 108 | 48 SF | 1 |
| LOUNGE | ROOM 102 | 133 SF | 1 |
| MECHANICAL STORAGE | ROOMS 104, 104, AND 104 | 2,880 SF | 3 |
| STORAGE ROOM | ROOM 101 | 600 SF | 3 |
| TOTAL OCCUPANT LOAD: | | | 14 |
- MINIMUM OF ONE EXIT REQUIRED FROM EACH ROOM OR SPACE. MAXIMUM EGRESS WIDTH THREE 1004S
 C2 X 4 X 2'8" (6")
- CAR WASH ROOM 101 IS NOT CONSIDERED TO MEET THE CBC SECTION 202 DEFINITION OF AN "OCCUPABLE SPACE" IN FUNCTION OF THE SPACE'S USE AND OPERATION. IT IS NECESSARY FOR THE ROLL-UP DOORS AT EACH END TO BE IN THE OPEN POSITION.

- ### KEYNOTES
- CONVEYOR TRENCH, SLOPE AT 1" PER FOOT TO DRAIN
 - 8" CONVEYOR TRENCH DRAIN PIPE. SEE PLUMBING DRAWINGS
 - 6" CONVEYOR TRENCH OVERFLOW. SEE PLUMBING DRAWINGS
 - UTILITY TRENCH, SLOPE BOTTOM TO DRAIN
 - 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH (TYPICAL 2 PLACES)
 - CONTRACTOR TO PROVIDE CORNER MATCH UTILITY TRENCH (TYPICAL 3 PLACES)
 - 4" PIPE CHASE FROM UTILITY TRENCH TO CONVEYOR TRENCH (TYPICAL 3 PLACES)
 - FLOOR DRAIN. SEE PLUMBING DRAWINGS
 - PROVIDE 2" AT THE EXIT - EXTEND PAST WALL 1'-0" BEYOND OPENING
 - ROOF ACCESS LADDER.
 - EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) SEE DETAIL #1/4002 - CONTRACTOR SUPPLIED AND INSTALLED (TYPICAL 2 PLACES)
 - WALL MOUNTED ENCLOSED FIRE EXTINGUISHER - 2A-10BC (TYPICAL 2 PLACES)
 - ROOF DRAIN LEADER (TYPICAL 3 PLACES) - SEE PLUMBING PLANS
 - ELECTRICAL SERVICE SWITCHGEAR - SEE ELECTRICAL DRAWINGS
 - 3/4" RECESS IN SLAB FOR THE SENSOR SWITCH (TYPICAL 2 PLACES)
 - NOT USED
 - HOSE BIB IN RECESS BOX, PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS
 - SEE PLUMBING DRAWINGS (TYPICAL 4 PLACES)
 - CEILING ROLL-UP DOOR (TYPICAL 2 PLACES)
 - CONCRETE FELLO PIPE BOLLARD AT ENTRANCE (TYPICAL 2 PLACES)
 - LINE OF ROOF RIDGE
 - WALL MOUNTED CANOPY ABOVE (TYPICAL 4 PLACES)
 - 3'-0" X 3'-0" RECLAIM CLEAN-OUT - SEE STRUCTURAL DRAWINGS
 - PAINT WINDOW - SEE EXTERIOR ELEVATIONS
 - TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)
 - WALL MOUNTED TACTILE CABINET - SEE ELECTRICAL DRAWINGS
 - ROOF BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- ### ADA SIGN NOTES
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE AT DOOR #1, DOOR #6 AND DOOR #7.
 - PROVIDE TACTILE EXIT SIGNAGE AT EACH EXIT PER DETAIL 12/4003 AT DOOR #1, DOOR #6 AND DOOR #7.
- ### SYMBOL LEGEND
- DOOR TAG - SEE DOOR SCHEDULE ON A500
 - WINDOW TAG - SEE WINDOW SCHEDULE ON A500
 - EMERGENCY EXIT SIGN - SEE DETAIL #12/4003
 - OWNER WANTS ALL TINTED GLASS
 - SEE DETAIL #12/4003 (TYP. 2 PLACES)

- ### QUICK QUACK CARWASH # 44-288
- OPPORTUNITY WAY + VAN BUREN BLVD.
 RIVERSIDE, CA
- Scale: 3/16" = 1'-0"
- PROJECT NO. 200715016
 DATE: 11/14/10
- FLOOR PLANS
- ARCHITECTURE INC.
 1120 West Park Drive, Suite 200
 Charlotte, NC 28203-1170
 TEL: 704.977.1100
 FAX: 704.977.1101

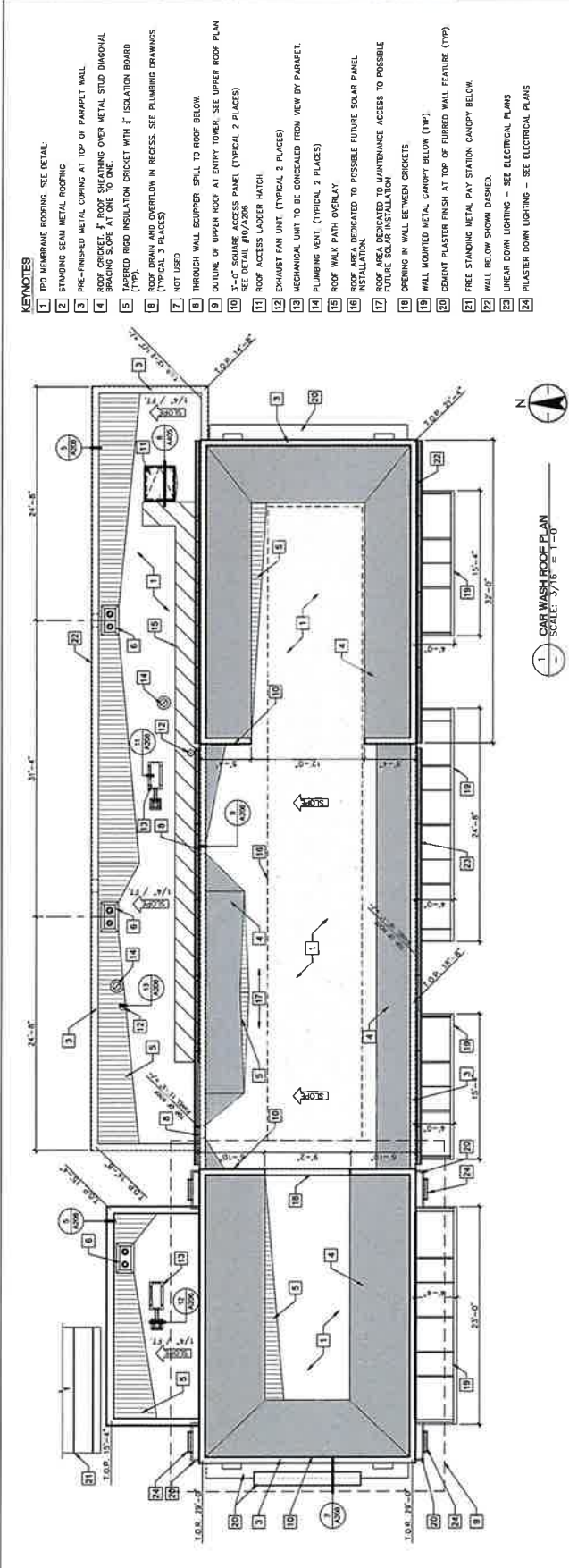
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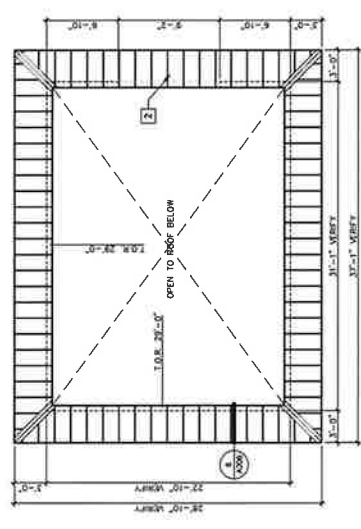
ROOF PLAN
 RIVERSIDE, CA
 OPPORTUNITY WAY + VAN BUREN BLVD.
 QUICK QUACK CARWASH # 44-288
 Checked: _____
 Permitted: _____

Project Number:	200713013M
File Number:	
Scale:	
Sheet No.:	
Total Sheets:	
Revision:	
Author:	
Checker:	
Permitter:	

A204



1 CAR WASH ROOF PLAN
 SCALE: 3/16" = 1'-0"



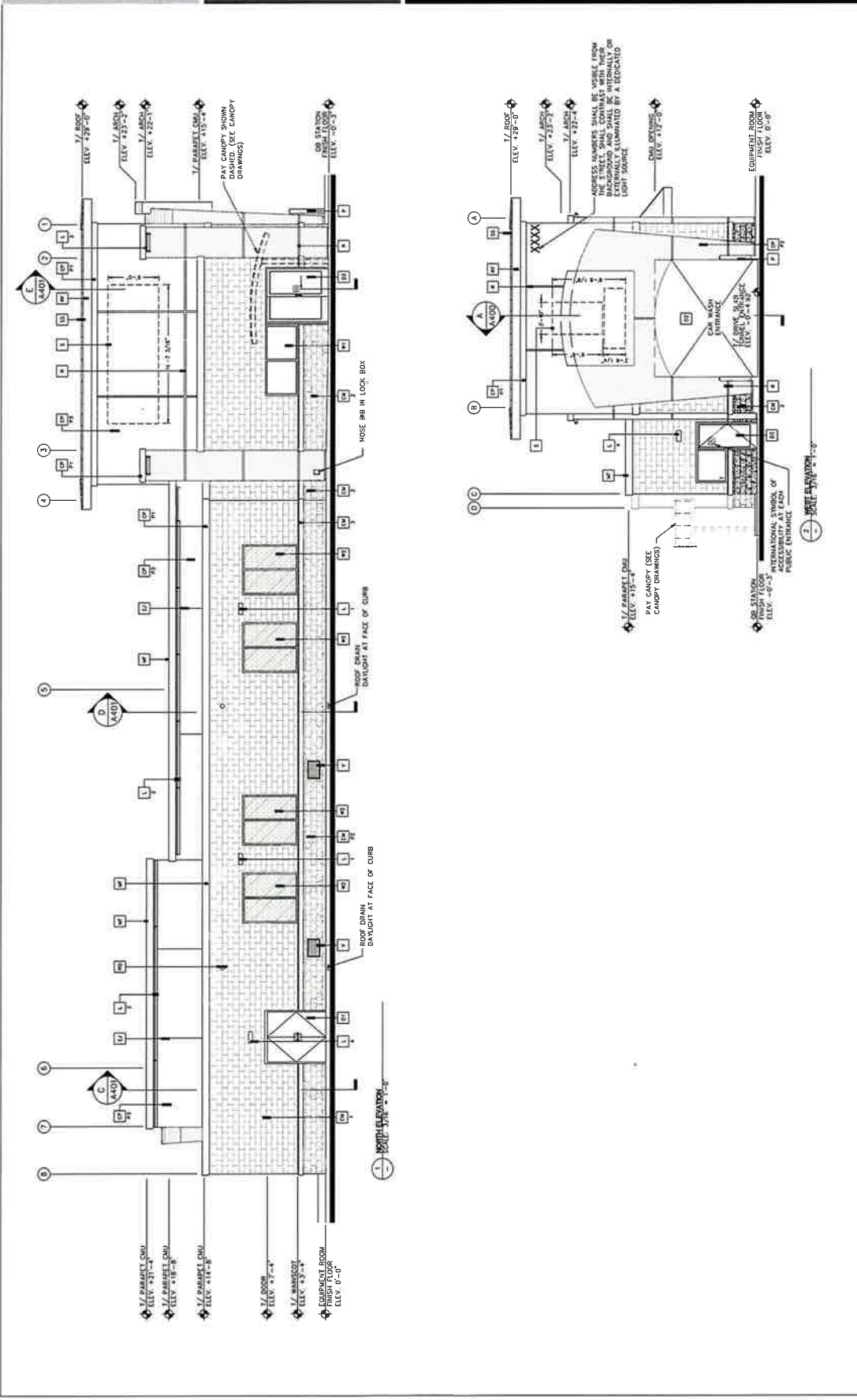
REVISION	DATE	BY	APP'D	DESCRIPTION
1	11/14/10			ISSUED FOR PERMITS
2	11/14/10			ISSUED FOR PERMITS



QUICK QUACK CARWASH #4-296
OPPORTUNITY WAY + VAN BUREN BLVD.
RIVERSIDE, CA

Building Elevations
Architectural Inc.

DATE	NO.	DESCRIPTION
11/14/10	200710101	ISSUED FOR PERMITS



- KEY NOTES:**
- 1. UNFINISHED CONCRETE MASONRY UNITS - INTEGRAL COLOR STANBOND #225 LIGHT GRAY
 - 2. FINISHED CONCRETE MASONRY UNITS - ADHESIVE MORTAR TO HAVE "RANDOM" FOR MORTAR
 - 3. BASALITE BRICK / FACE CONCRETE MASONRY UNITS - INTEGRAL FACTORY "RANDOM" WATER REPELLANT ADHESIVE MORTAR TO HAVE "RANDOM" FOR MORTAR
 - 4. PRECISION FACE CONCRETE MASONRY UNIT SKI - INTEGRAL COLOR TO MATCH DARK GRAY BRICKS WITH INTEGRAL MORTAR TO HAVE "RANDOM" FOR MORTAR
 - 5. MORTAR TO HAVE "RANDOM" FOR MORTAR
 - 6. CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR
 - 7. WILSON METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "RACCORD"
 - 8. OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "RACCORD"
 - 9. PLASTER COLOR COAT TO BE SAND FINISH
 - 10. WILSON METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "RACCORD"
 - 11. OVERHEAD METAL DOOR - PAINT TO MATCH SHERWIN WILLIAMS #7025 "RACCORD"
 - 12. CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR
 - 13. ACRYLIC PLASTER COLOR COAT
 - 14. COLOR DESIGNATION:
P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #7024 "SHOWBOURD"
P3 = MATCH SHERWIN WILLIAMS #7024 "SHOWBOURD"
 - 15. LIGHT FIXTURE
L1 = LED RADIAL WALL SCORPE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = WALL PACK (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)
 - 16. 8" X 18" THROUGH WALL SCORPE, COLLECTOR AND DOWNSPOUT PAINT TO MATCH ADJACENT SURFACE
 - 17. 1/4" DEEP REVEAL EXPANSION JOINT
 - 18. METAL ROOF FASCIA MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" WITH CONCRETE - SEE DETAIL #8/A/D/A
 - 19. 4" PIPE BOLLARD FILLED WITH CONCRETE - SEE DETAIL #8/A/D/A
 - 20. METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
 - 21. 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
 - 22. METAL ROOF FASCIA MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" WITH CONCRETE - SEE DETAIL #8/A/D/A
 - 23. 3" DIA. PVC ROOF DRAIN SCUPPER - PAINT TO MATCH ADJACENT FINISH
 - 24. 24" DIA. X 18" HIGH VENT - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
 - 25. STAINLESS STEEL METAL ROOF FIRESTOP UCS - "DARK IVY"
 - 26. METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
 - 27. WALL CANOPY TE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
 - 28. 24" DIA. X 18" HIGH VENT - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
 - 29. EXTERIOR WINDOW ASSEMBLY - TIGERED CLASS CLEAR ANODIZED ALUMINUM STOREFRONT
 - 30. EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TIGERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

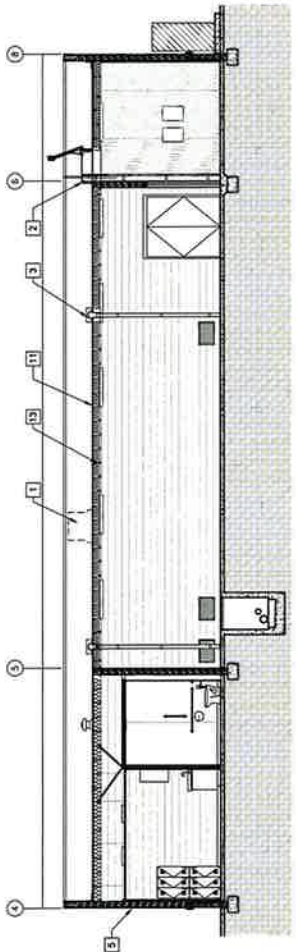
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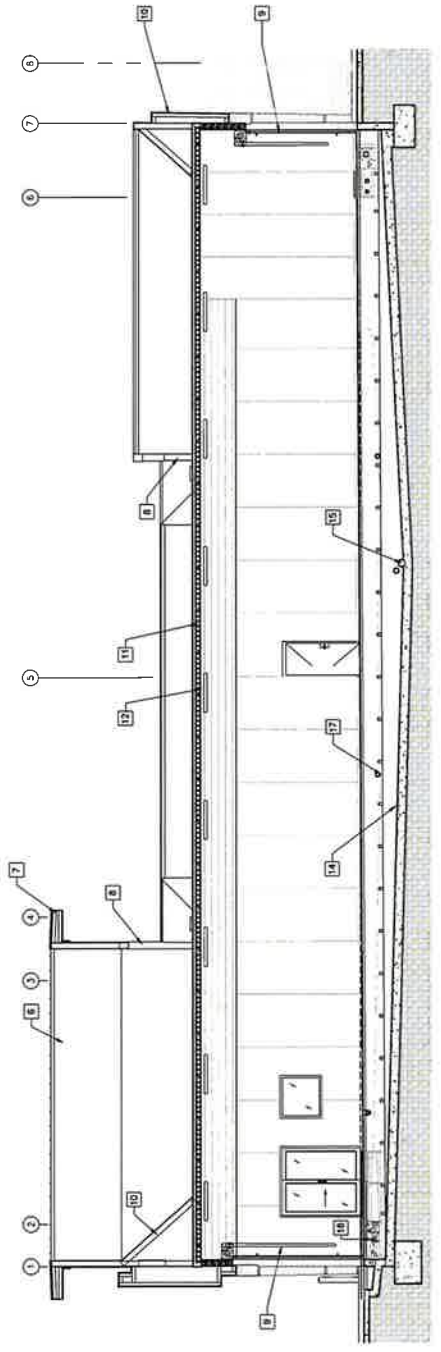
CHARTERED
 QUICK QUACK CARWASH # 44-296
 OPPORTUNITY WAY + VAN BUREN BLVD.
 RIVERSIDE, CA
 BUILDING SECTIONS

Project Number	20021101818
Client	
Architect	
Contract No.	
Revision	0001

- KEYNOTES**
- 1 ROOF TOP MECHANICAL UNIT IN FOREGROUND SHOWN DASHED. CONCEALED FROM VIEW BEHIND PARAPET WALL.
 - 2 ROOF ACCESS HATCH
 - 3 ROOF DRAIN AND OVERFLOW SLUICER
 - 4 ELECTRICAL SERVICE SWITCHGEAR ON HOSEKEEPING PAD
 - 5 CONCRETE MASONRY UNIT WALL CONSTRUCTION
 - 6 OPEN TO ROOF BELOW
 - 7 SPANISH TILE ROOFING AT PERIMETER OVERHANG.
 - 8 OPENING IN WALL
 - 9 COILING ROLL-UP DOOR
 - 10 METAL STUD FRAMED WALL FEATURE WITH CEMENT PLASTER WALL FINISH
 - 11 TPO MEMBRANE ROOFING
 - 12 HOLLOW CORE PRE-CAST BLANK ROOF STRUCTURE
 - 13 METAL STUD ROOF FRAMING
 - 14 CONVEYOR TRENCH SLOPE TO DRAIN
 - 15 CONVEYOR TRENCH DRAIN AND OVERFLOW.
 - 16 NOT USED
 - 17 UTILITY TRENCH DRAIN OUTLET.
 - 18 PIPE CHASE FROM UTILITY TRENCH (TYP).



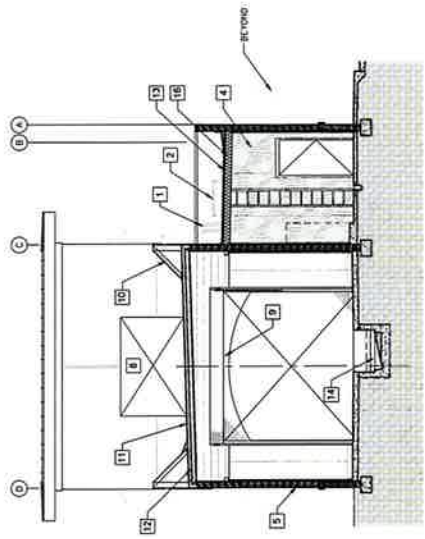
B-B BUILDING SECTION
 SCALE: 3/16" = 1'-0"



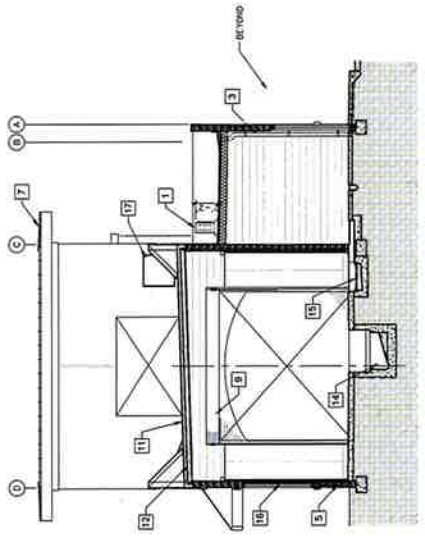
A-A BUILDING SECTION
 SCALE: 3/16" = 1'-0"

DATE	BY	APP'D	REVISION
12/11/20			REVISED PER PLANNO

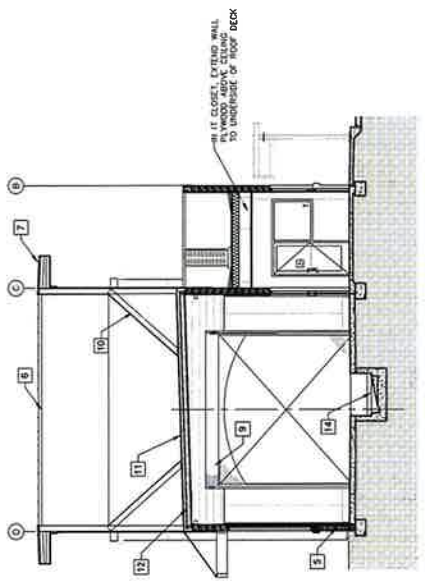
- KEYNOTES**
- 1 ROOF TOP MECHANICAL UNIT IN FOREGROUND SHOWN DASHED CONCEALED FROM VIEW BEHIND PARAPET WALL.
 - 2 ROOF ACCESS HATCH.
 - 3 ROOF DRAIN AND OVERFLOW SCUPPER.
 - 4 ELECTRICAL SERVICE SWITCHGEAR ON HOUSEKEEPING PAD.
 - 5 CONCRETE MASONRY UNIT WALL CONSTRUCTION R-1 VALUE WITH A U-FACTOR OF 0.285.
 - 6 OPEN TO ROOF BELOW.
 - 7 STANDING SEAM METAL ROOFING AT PERIMETER OVERHANG.
 - 8 OPENING IN WALL.
 - 9 COILING ROLL-UP DOOR.
 - 10 METAL STUD FRAMED WALL FEATURE WITH CEMENT PLASTER WALL FINISH.
 - 11 TPO MEMBRANE ROOFING.
 - 12 HOLLOW CORE PRE-CAST PLANK ROOF STRUCTURE.
 - 13 METAL STUD ROOF FRAMING.
 - 14 CONCRETE TRENCH SLOPE TO DRAIN.
 - 15 CONCRETE TRENCH DRAIN AND OVERFLOW.
 - 16 R-30 ROOF INSULATION WITH A U-FACTOR OF 0.039.
 - 17 4" UTILITY TRENCH DRAIN OUTLET (TYPICAL 2 PLACES)
 - 18 PIPE CHASE FROM UTILITY TRENCH (TYP)



C BUILDING SECTION
 SCALE: 3/16" = 1'-0"



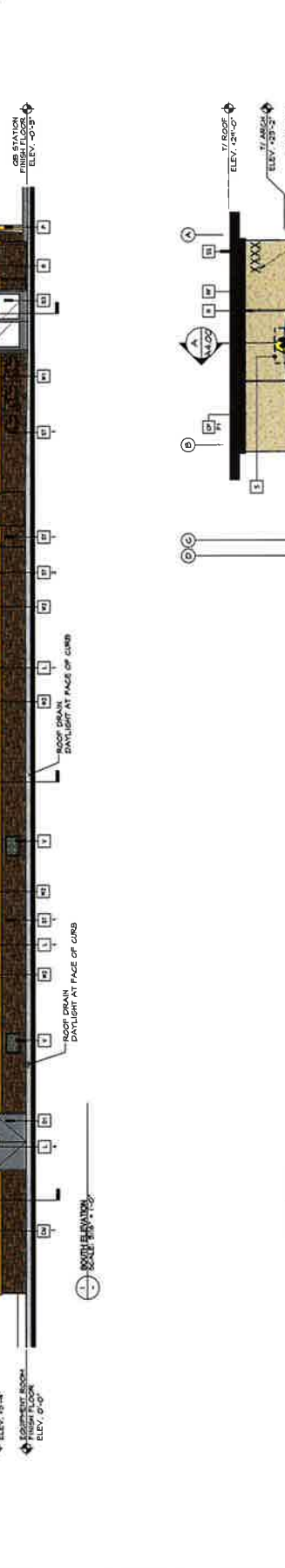
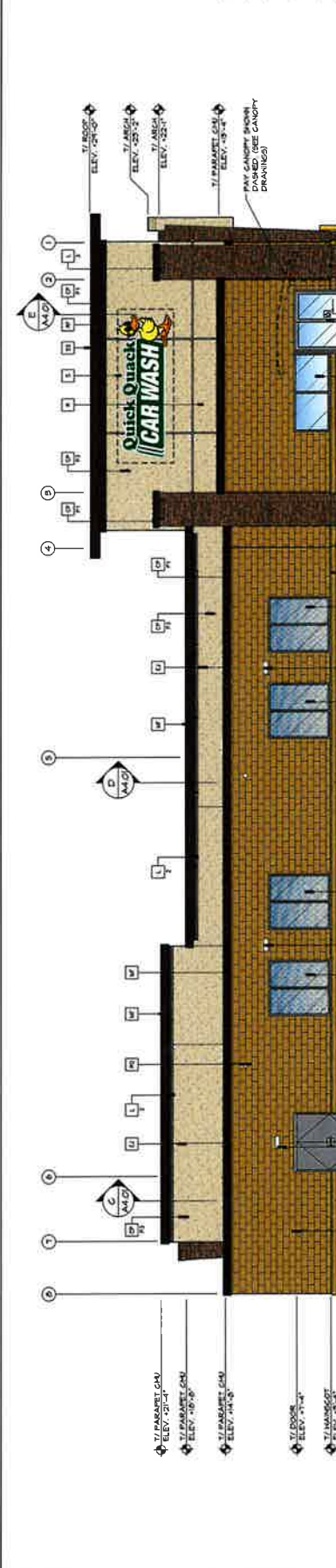
D BUILDING SECTION
 SCALE: 3/16" = 1'-0"



E BUILDING SECTION
 SCALE: 3/16" = 1'-0"

Title: BUILDING ELEVATIONS
 QUICK QUACK CAR WASH NO. 44-296
 22404 VAN BUREN BLVD.
 RIVERSIDE, CA 92518

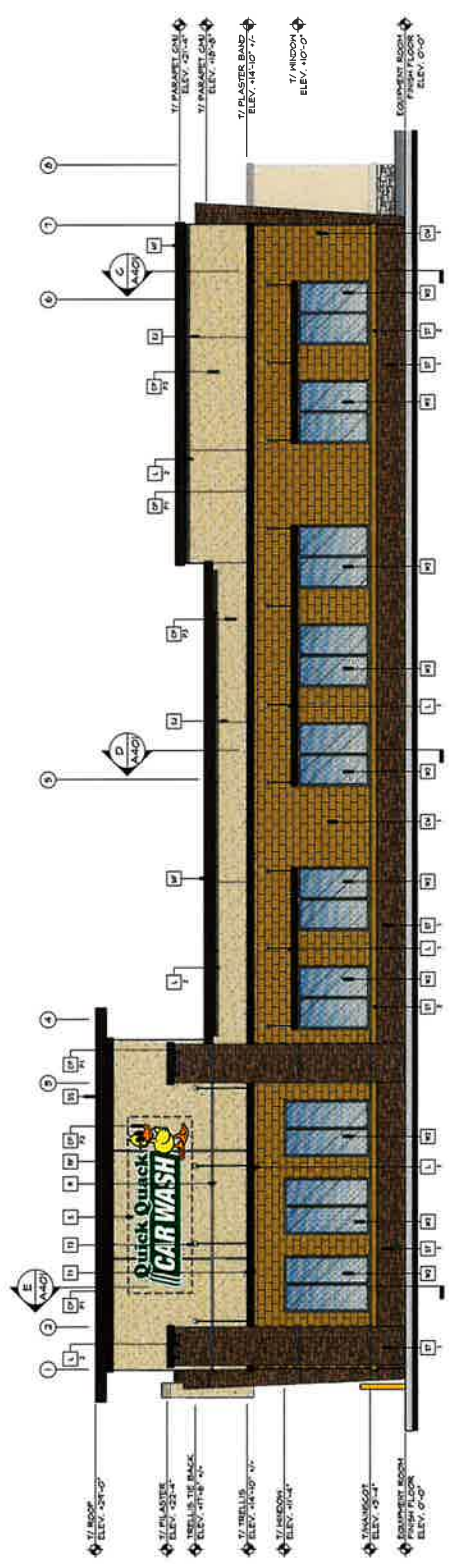
For: QUICK QUACK CAR WASH
 6020 WEST OAKS BLVD SUITE 300
 ROCKLIN, CA 95765



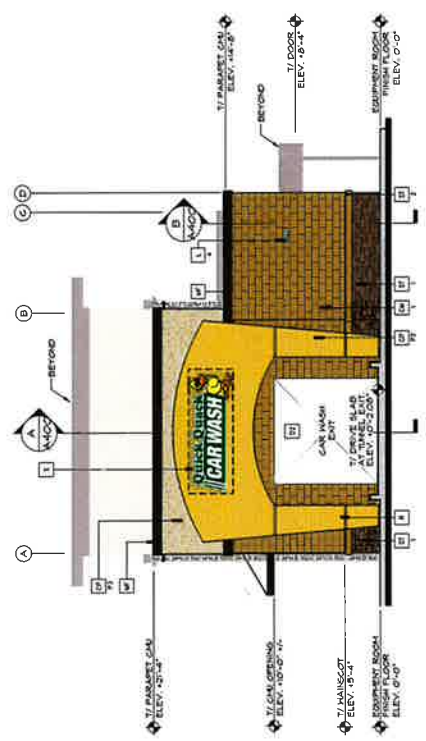
COLOR LEGEND

P1	DARK ALBERN SW 6034	C01	INDUS BLOCK 7/8" x 4 1/2" x 8" (20.00)
P2	TORRELICHT SW 6214	S11	CORONADO STONE MEDIUM
P3	SNOWBOUND SW 7004	S12	CORONADO STONE CORSELED STONE SILL LIGHT
P4	BELEVALE BUFF SW 8120	P6	PRESTONE METALS "BRANDWINE"
P5	SAFETY YELLOW SW 6084	W1 & W2	CLEAR ANODIZED ALUMINUM

- RELIEFS:**
- D1 = STONE VENEER CORONADO STONE PRODUCTS - "QUACK STONE" MARBLE GRANITE - FINISH WITH GRAFTIN SEALER
 - D2 = STONE VENEER CORONADO STONE PRODUCTS - "QUACK STONE SILL" BUFF - FINISH WITH GRAFTIN SEALER
 - D3 = BASALTIC SMOOTH HONED FACE CONCRETE MASONRY UNITS - INTEGRAL COLOR STANDARD #333-PRECON OR REPLICANT ADHESIVE MORTAR TO HAVE "RANDOM" FOR MORTAR ADHESIVE MORTAR COLOR TO MATCH
 - D4 = MORTAR ADHESIVE MORTAR COLOR TO MATCH
 - D5 = MORTAR ADHESIVE MORTAR COLOR TO MATCH
- COLOR DESIGNATION:**
- P1 = MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - P2 = MATCH SHERWIN WILLIAMS #6214 "TORRELICHT"
 - P3 = MATCH SHERWIN WILLIAMS #7004 "SNOWBOUND"
 - P4 = MATCH SHERWIN WILLIAMS #8120 "BELEVALE BUFF"
 - P5 = MATCH SHERWIN WILLIAMS #6084 "SAFETY YELLOW"
- PLASTER COLOR COAT TO BE SAND FINISH**
- TYPE:**
- L1 = LED RADIAL WALL SOURCE (DOWN ONLY)
 - L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
 - L3 = WALL PACK (DOWN ONLY)
 - L4 = WALL PACK (DOWN ONLY)
- FINISHES:**
- S1 = OVERHEAD METAL ROOF - PAINT TO MATCH SHERWIN WILLIAMS #6122 "CAMELBACK"
 - S2 = CLEAR ANODIZED ALUMINUM COMMERCIAL GRADE STOREFRONT GLASS DOOR
 - S3 = 8" x 16" THROUGH WALL SCUPPER COLLECTOR SURFACE - PAINT TO MATCH ALACRYL SURFACE
 - S4 = 1/4" DEEP REVEAL EXPANSION JOINT
 - S5 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S6 = ROOF DRAIN THROUGH WALL AND OVERFLOW SCUPPER - PAINT TO MATCH ADJACENT METAL FLASHING
 - S7 = 4" TYPE BALLIARD FILLED WITH CONCRETE. SEE METAL FLASHING.
 - S8 = 4" TYPE BALLIARD FILLED WITH CONCRETE. SEE METAL FLASHING.
 - S9 = 4" TYPE BALLIARD FILLED WITH CONCRETE. SEE METAL FLASHING.
- FINISHES:**
- S10 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S11 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S12 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S13 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S14 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S15 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S16 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S17 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
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 - S41 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S42 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
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 - S44 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S45 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S46 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S47 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
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 - S50 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S51 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
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 - S58 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S59 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"
 - S60 = METAL FLASH - MATCH SHERWIN WILLIAMS #6034 "DARK ALBERN"



1 - NORTH ELEVATION



2 - WEST ELEVATION

COLOR LEGEND

P1	DARK AUBURN SW 6034	C41	ANGUS BLOCK "TRACER CREEK BURNISHED" (50.0L)
P2	TORRELIGHT SW 8374	S11	CORDONADO STONE "QUICK STACK CARVEL MONTANA"
P3	SWIRLROUND SW 7024	S22	CORDONADO STONE "CRISSED STONE SILL "BUTT"
P4	DESIGNABLE BUFF SW 6170	P8	ROCKSTONE METALS "BRONZE"
P5	SAFETY YELLOW SW 4584	W1 & W2	CLEAR ANODIZED ALUMINUM

- REMARKS:**
- 1. REFER TO ALL OTHER SHEETS FOR MATERIALS AND FINISHES.
 - 2. REFER TO ALL OTHER SHEETS FOR MATERIALS AND FINISHES.
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 - 100. REFER TO ALL OTHER SHEETS FOR MATERIALS AND FINISHES.





SW6034 DARK AUBURN

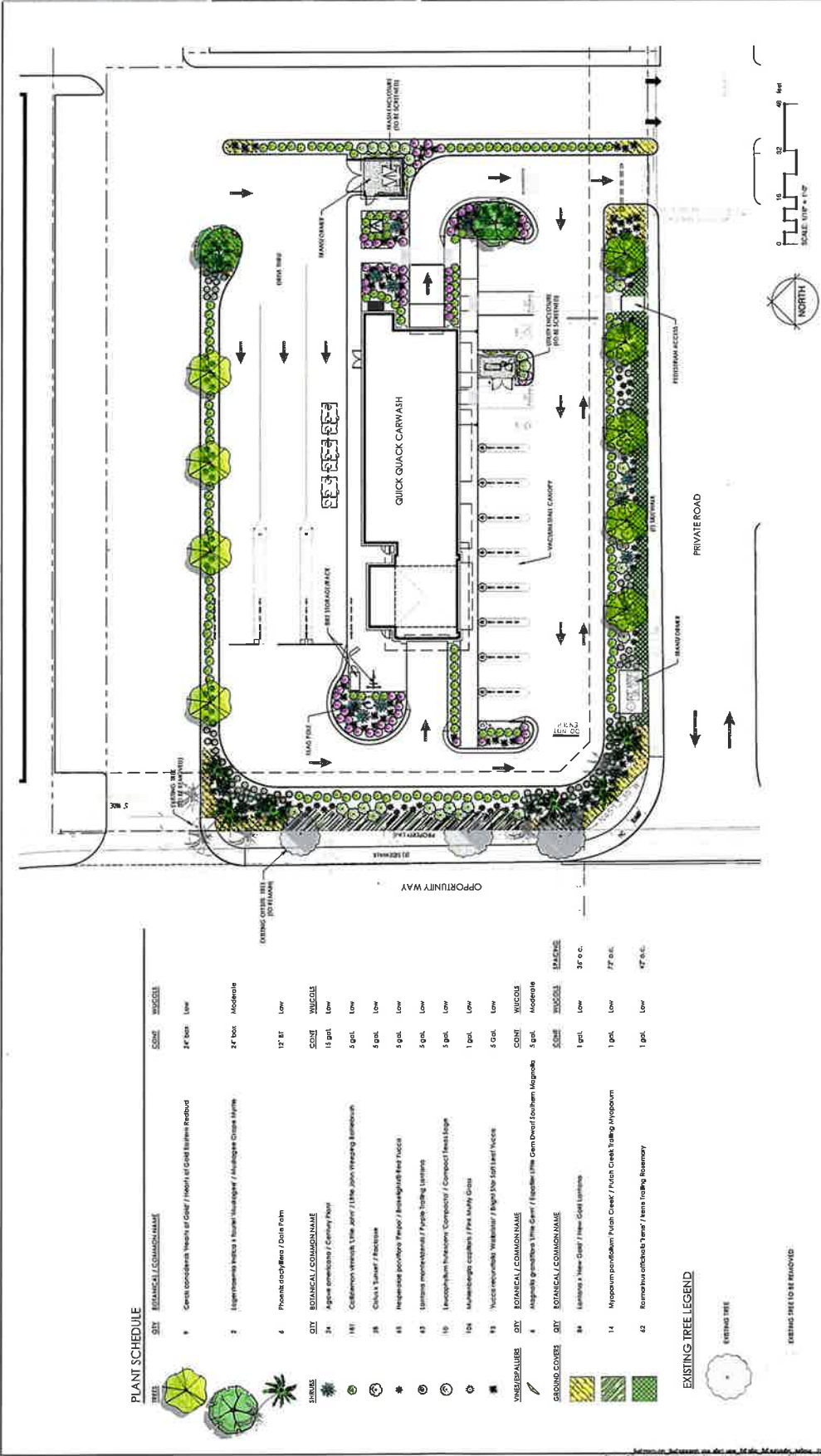
SW6374 TORCHLIGHT

SW6141 SOFTER TAN

SW7004 SNOWBOUND

ANGELUS BLOCK GNU
PLACER CREEK BURNISHED

CORONADO STONE
QUICK STACK
CARMEL MOUNTAIN



COMPLIANCE STATEMENT
I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Rodney Duncan
11.16.15

EIAF Calculations

Item	Area	Rate	Volume
Impervious Area	141,839 sq ft	0.11	15,602 gal
Permeable Area	19,714 sq ft	0.28	5,519 gal
Average EIAF			11,044 gal

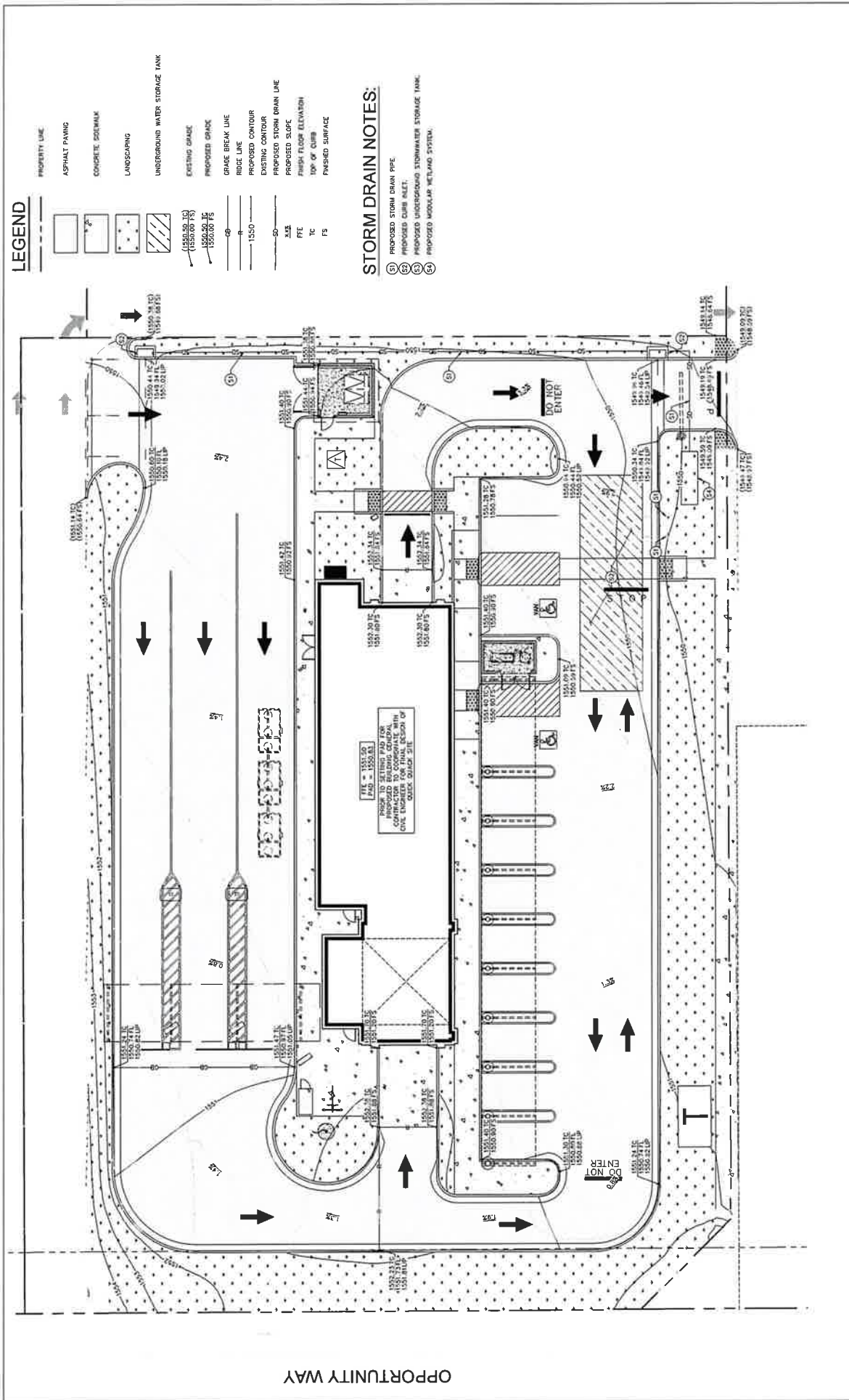
Notes: Average EIAF for Permeable Landscaping = 0.28. Average EIAF for Impervious Landscaping = 0.11. Total EIAF = 11,044 gal.

Water Efficient Landscape Worksheet

Item	Plant	Area	Rate	Volume
1	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
2	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
3	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
4	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
5	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
6	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
7	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
8	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
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18	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
19	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
20	Agave attenuata / Century Plant	18 sq ft	0.11	2 gal
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GENERAL NOTES

- All landscape plants must be installed within 14 days of construction completion.
- All new trees installed within 14 days of construction completion shall have a root collar.
- All new plant material shall be installed with all tags and a small container. Landscape plants will comply with County of Riverside Water Conservation Standard.
- Living trees and shrubs to remain shall be protected and presented in place.
- Landscape Maintenance shall be the responsibility of the property owner.



LEGEND

- PROPERTY LINE
- ASPHALT PAVING
- CONCRETE SIDEWALK
- LANDSCAPING
- UNDERGROUND WATER STORAGE TANK
- EXISTING GRADE
- PROPOSED GRADE
- GRADE BREAK LINE
- RIDGE LINE
- EXISTING CONTOUR
- PROPOSED STORM DRAIN LINE
- PROPOSED SLOPE
- FINISH FLOOR ELEVATION
- TOP OF CURB
- FINISHED SURFACE

STORM DRAIN NOTES:

- (1) PROPOSED STORM DRAIN PIPE
- (2) PROPOSED CURB INLET
- (3) PROPOSED UNDERGROUND STORMWATER STORAGE TANK
- (4) PROPOSED MODULAR WETLAND SYSTEM

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Kimley»Horn
108 FISH HARBOR RD SUITE 200 GRANGE, CA 92604
PREPARED BY: JACOB BLAKE
DATE: 05/22/02

March Joint Powers Authority
CLACK-CORCORAN
PRELIMINARY GRADING PLAN

SHEET NO. 1 OF 1 SHEETS

REVISIONS

MARK	BY	DATE	ENGINEER

APPLY DATE: M.P.A.

BENCH MARK:
NATIONAL GEODESIC SURVEY POINT 3 1/4" x 1/4" LOCATED ALONG THE APPROXIMATELY 1/2 MILE SOUTH OF VAN BUREN BOULEVARD, EAST BEING A 3 1/4" x 1/4" MARK. LOOK STAMPS 2 1/4" x 1 1/4" SET FLUSH ON 1/2" x 1/2" SURFACE OF A 1 1/2" x 1 1/2" x 1 1/2" SET LAST OF BENCH MARK. ELEVATION: 1551.75 FEET DATUM: NAVD 83

EXHIBIT B

Veterans Plaza Car Wash Project
Conditional Use Permit (CUP 22-03)

Conditions of Approval

EXHIBIT B
Veterans Plaza Car Wash Project
Conditional Use Permit (CUP 22-03)

Conditions of Approval

MARCH JOINT POWERS AUTHORITY PLANNING DEPARTMENT

General Planning Conditions:

1. The site shall be developed in accordance with the approved Conditional Use Permit 22-03 (CUP 22-03), on file in the Planning Department, the applicable portions of the March JPA Development Code, the General Plan, and the conditions contained herein. Prior to any use of the site or business activity being commenced thereon, all Conditions of Approval and Environmental Mitigation Measures shall be completed to the satisfaction of the Planning Director or designee. Building elevations shall comply with the color scheme and materials approved with CUP 22-03. (MJPA 9.14.020)
2. The Applicant shall indemnify, protect, defend, and hold harmless March JPA and its constituent public agency members, officers, employees, attorneys, and agents from any and all actual or alleged claims, actions, proceedings, against March JPA to attack, set aside, void, annul, or seek monetary damages arising out of the approval of the Applicant's proposed development or related approvals, including but not limited to CEQA approvals, permits, variances, design plans, plot plans, maps, licenses and amendments. March JPA shall promptly notify the Applicant of any and all claims, actions, and proceedings, covered by this Agreement. This indemnification shall include, but not be limited to, damages, fees and/or costs awarded against March JPA, if any, and cost of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such claim, action, or proceeding whether incurred by Applicant, March JPA, and/or any parties bringing such forth.
3. Conditional Use Permit 22-03 approval shall expire three years after the date of approval unless substantial construction contemplated by this approval for at least one approved building has occurred within the three-year period, which is thereafter pursued to completion, or the March Joint Powers Authority has extended approval, otherwise the approval shall become null and void. (MJPA 9.02.230)
4. This development is located within the Commercial zoning district of the Meridian Specific Plan (SP-5). The provisions of the Meridian Specific Plan, including the permitted uses, development standards, parking, setbacks, other development provisions, and the Conditions of Approval shall govern the property, unless modified herein. (MJPA 9.13)

5. The project construction plan submittal shall contain an on-site traffic striping and signage plan which shall be reviewed and approved by the Planning Department prior to issuance of the building permits.
6. Any increase to the approved building heights and or increase in the building pad elevation will necessitate a revised submittal and review by the FAA through the 7460-1 process.
7. Development shall abide by the building standards, intensity provisions, restrictions on use, population densities, and project noise attenuation requirements of the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (RCALUP).
8. The development shall comply with the requirements of the Americans with Disabilities Act. All disabled parking spaces shall measure 14' wide to include a 9' stall and 5' loading area, by 20' length. One in every 8 disabled spaces, but in no case less than one, shall be van accessible with a minimum 9' wide space and 8' wide loading area. All signage, striping, ramps and slopes shall meet ADA requirements. Overhang of parking shall not encroach upon handicapped access routes.
9. Any signs indicated on the submitted plans are not included with this approval. All signs proposed for this development shall comply with the requirements of the March JPA Development Code. (MJPA 9.12.020)
10. All new and existing utilities located on the site shall be placed underground. (MJPA 9.13.130)
11. The development shall comply with the noise emission criteria identified in the March JPA Development Code. (MJPA 9.10.140)
12. The development shall comply with all mitigation measures as outlined in the Meridian Subsequent Final EIR and Mitigation Monitoring and Reporting Program (SCH#2009071069). (MMRP)
13. Prior to the submittal of any plans/permits for plan check review, the Applicant/Developer shall meet with March JPA staff at a Pre Plan Submittal/Construction Meeting to be determined.
14. Prior to the issuance of any Permit, the Developer shall designate one point of contact for all plan/permitting submittals, from grading to the final tenant improvements, to act as the liaison between the March JPA and the various subcontractors. Individual subcontractors shall not be allowed to submit plans/permit submittals for the project separately, but shall use the single-point-of-contact to handle all plan/permit submittals
15. The Applicant/Developer shall also comply with March JPA Building and Engineering Departments and outside Agency conditions to be performed prior to issuance of Grading and Building Permits and Certificate of Occupancy

Planning Conditions to be Performed Prior to Issuance of Grading Permits:

16. Prior to issuance of grading permits, the Project applicant shall prepare a traffic control plan that specifically addresses construction traffic and possible lane closures within the public rights-of-way. The traffic control plan shall be reviewed and approved by March Joint Powers Authority (JPA) prior to Project construction.
17. Prior to issuance of precise grading permits, all site plans, grading plans, landscape and irrigation plans, and street improvement plans shall be coordinated for consistency with this approval.
18. Prior to grading permit issuance, an FAA Form 7460-2 would be required for any temporary construction equipment used during construction activities exceeding 38 feet in height.

Planning Conditions to be Performed Prior to Issuance of Building Permits:

19. Prior to issuance of building permits, final landscaping and irrigation plans shall be approved as a component of the construction plan review. (MJPA 9.02.030)
20. Prior to issuance of building permits, the developer or developer's successor-in-interest shall pay the applicable March JPA Development Impact Fee (DIF). These fees shall include, but are not limited, to the Criminal Justice Public Facilities, Fire Protection and Parks Development impact fees.
21. Prior to issuance of building permits, the developer shall provide to the Planning Department written certification by the affected school district that either: (1) the development has complied with the fee levied by the governing board of the District, pursuant to Government Code Section 65996; or (2) the fee or other requirement does not apply to the development.
22. Individual lot developers shall contribute on a fair share basis toward the cumulative off-site impacts identified in Specific Plan Chapter IIV. (MMRP)
23. Prior to issuance of building permits, screening details for roof top equipment shall be submitted for Planning Division review and approval as a component of the construction plan review. All equipment shall be completely screened so as not to be visible from public view, and the screening shall be an integral part of the building. (MJPA Design Guidelines)
24. Prior to issuance of building permits, the Planning Division shall review and approve a computer-generated, point-by-point exterior lighting analysis plan as a component of the construction plan review. The lighting plan shall be generated on the site plan and shall be integrated with the final landscape plan. The plan shall indicate the manufacturer's specifications for fully shielded light fixtures and shall include fixture catalog cuts, light cut-off shielding details, wattage, illumination type (high or low pressure sodium or LED below 2,700 Kelvin only), location, and height. The lighting shall not exceed a 750-watt maximum and shall not be mounted more than 25' above finished grade. The lighting shall be designed

in such a manner so that it does not exceed 0.5 candle/foot² illumination beyond the property line. (MJPA 9.08.100)

25. Prior to issuance of building permits, the applicant shall complete a Construction Waste Recycling Plan and submit the plan to the Riverside County Waste Management Department (RCWMD) for approval. The plan will identify and estimate the materials to be recycled during construction activities and will specify where and how the recyclable materials will be stored on the site. Compliance with the plan will be a requirement in all construction contracts
26. Prior to issuance of building permits, the applicant shall submit building plans to the RCWMD and obtain approval from the RCWMD for compliance with the Riverside County Design Guidelines for Refuse and Recyclables Collection and Loading Areas, which include specifications for recyclable storage space, location and access, signage, protection and security, compatibility, and overall compliance with federal, state, and local laws.
27. Facilities that store, handle or use regulated substances as defined in the California Health and Safety Code 25532 shall comply with the Hazards and Hazardous Materials Mitigation Measures identified in the Meridian Subsequent EIR (SCH#2009071069). (MMRP)

Planning Conditions to be Performed Prior to Issuance of Certificate of Occupancy:

28. Prior to the issuance of a Certificate of Occupancy, the tenant shall submit to March JPA and shall receive approval of a Traffic Demand Management Plan which shall include the following elements: 1) identification of alternative modes of transportation and incentives available to employees; 2) the location of a minimum of 30” x 42” wall area for the posting of alternative transportation mode information including financial incentives by responsible agencies, transit schedules and carpooling information; 3) feasibility of flexible work hours including compressed work week; 4) availability of on-site or off-site child care facilities; 5) feasibility of video conference facilities; and 6) feasibility of minimizing the use of fleet vehicles during smog alerts. (MMRP)
29. Prior to issuance of a Certificate of Occupancy, the developer or developer’s successor in interest shall pay the applicable Transportation Uniform Mitigation Fee (TUMF). This provision does not prohibit paying the TUMF earlier at the time of building permit issuance.
30. Prior to Certificate of Occupancy, the developer shall demonstrate that all South Coast Air Quality Management District permits have been obtained (MEIR).
31. Prior to Certificate of Occupancy, the Planning Division shall review and approve the location and method of screening of transformer cabinets, commercial gas meters and back flow preventers as components of the construction plan review. Location and screening shall comply with the following criteria: All transformer cabinets, commercial gas meters and backflow devices shall not be located within driveway/street view triangles in such a way that they obscure traffic visibility. Service Electrical Systems shall be fully enclosed and incorporated into the overall architectural design of the building(s). Back-flow preventers

and gas meters shall be screened by landscaping that will provide appropriate landscape screening upon maturity. (MJPA Design Guidelines)

32. Prior to the issuance of the Certificate of Occupancy, the applicant shall provide a letter from the landscape architect identifying that all landscape has been installed consistent with the approved landscape plan and that the landscape complies with the provisions of the March JPA Landscape Irrigation Efficiency Ordinance (JPA ORD.#16-03).

Planning Department Landscape Provisions (Timing Varies):

33. All landscape located adjacent to parking areas shall be protected by a raised 6" curb. (MJPA Design Guidelines)
34. The landscape irrigation schedule which identifies appropriate watering times, duration and quantities, for 1) initial landscaping and 2) established landscape, shall be continually available at the site in perpetuity, in a convenient location near the irrigation controlling unit. (JPA ORD #09-05).
35. All on-site parking shall be screened by one of the following methods: 1) 30" parking screen wall; 2) continuous landscape shrub; or 3) combination of shrub, wall and earthen berm. (MJPA Design Guidelines).
36. All irrigation and plant material damaged by construction or operational activities shall be replaced with like sized material within three (3) business days.
37. At no time shall any contractor store or place equipment, signs, temporary utilities or any other items within the public right-of-way or landscape areas.
38. Prior to certificate of occupancy, the Applicant/Developer shall demonstrate the proposed Project complies with all provisions within the March Joint Powers Authority Ordinance No. #16-03 (Water Efficient Landscape Ordinance) including but not limited to:
 - (a) Irrigation systems shall be designed, maintained, and managed to meet or exceed an average irrigation efficiency of 0.5.
 - (b) All irrigation systems shall be designed to prevent runoff, over-spray, low head drainage, and other similar conditions where water flows off-site on to adjacent property, non-irrigated areas, walk, roadways, or structures. Irrigation systems shall be designed, constructed, installed, managed, and maintained to achieve as high an overall efficiency as possible.
 - (c) Landscaped areas shall be provided with a smart irrigation controller which automatically adjusts the frequency and/or duration of irrigation events in response to changing weather conditions unless the use of the property would otherwise prohibit use of a timer.

39. Landscaping shall conform to the standards and requirements of the March JPA. (MJPA 9.13.010)
40. If any existing landscape (including existing or new plantings, hardscape, landscape features, etc.) is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved plans within 30 days of completion of construction by the tenant, unless prior agreement is obtained with the District. (MJPA Design Guidelines, 9.2.1)
41. Trees, shrubs, ground cover and mulch missing in the existing LLMD on Meridian Parkway and Determination Drive must be replaced with matching plant genus and species. Replace trees must be 24" box or larger. (MJPA Design Guidelines, 6.3.1)
42. Projects necessitating the removal of existing trees (in the LLMD) with four-inch or greater trunk diameters (calipers), shall be replaced at a three to one ratio, with minimum twenty-four (24) inch box size trees of the same species, or a minimum thirty-six (36) inch box for a one to one replacement, where approved. (MJPA 9.17.030)
43. Each lot developer is to remove the temporary plastic border separating on site landscape from the LLMD area and install a 6" X 6" concrete mow curb.
44. On-site trees must be 100% 24" box size as a minimum size. Trees should be selected with root growth habits that will not cause damage to sidewalks, curbs, and other similarly paved surfaces or such tree species should be sited away from such paved areas.
45. Tree species must be grown in the Inland Empire.
46. The selection of parking lot trees should emphasize the provision of summer shading of pavement and vehicles. Within a maximum of ten (10) years, parking lot trees shall shade a minimum of fifty (50) percent of parking space pavement during the summer months, between 1:00 and 4:00 in the afternoon. A maximum of fifty (50) percent of the parking lot trees may be deciduous unless otherwise approved by the Planning Director. (MJPA 9.17.030)
47. The selection of parking lot trees shall avoid trees with excessive litter, sap or fruit that could damage vehicles. (MJPA 9.17)
48. Prior to site grading, the grading contractor shall contact the March JPA Landscape and Lighting Maintenance District (LLMD) Manager at (951) 656-7000 and the MJPA Landscape Inspector, Jonathan Jones at (951)-675-1639 to coordinate all activity and impacts upon LLMD facilities within the public right-of-way and landscape easements. The coordination shall assure uninterrupted operation of the LLMD irrigation system and shall identify any impacts on LLMD mainlines, wires, laterals and irrigation components, inclusive of the need to move or sleeve LLMD facilities as determined by the LLMD manager and the Inspector.

49. All LLMD pressure main line and laterals crossing beneath paved areas shall be encased in schedule 80 PVC sleeves twice the diameter of the pipe. Sleeves shall be placed as a depth of 24" beneath finished surface, measured from the top of sleeve. Control wires shall be in separate sleeves with a minimum diameter of two inches. Wire sleeves shall be sized so that wire bundles may be pulled without binding. On each side of paved areas, a 10" round valve box with wire connections shall be installed. Pin tie connectors shall be used in wire connection box and must be branded on the valve box lid with "SW" for future identification.
50. All changes to the LLMD easement area shall be completed in accordance with the approved LLMD landscape plans and an "as built" drawing shall be submitted and approved upon completion and inspection of work. All repairs and/or installations in the LLMD right-of-way and easement areas must be inspected by the LLMD manager.
51. All LLMD irrigation damaged by construction activities shall be repaired by a qualified irrigation technician within twenty-four (24) hours to ensure LLMD plant material does not incur additional damage or loss.
52. All LLMD landscape and irrigation improvements and on-site landscape and irrigation must be maintained for 90 days and warrantied for 12 months from the date of final construction inspection.

NPDES Provisions (Timing Varies):

53. The development shall be subject to all provisions of March Joint Powers Authority General Plan Land Use Policy 8.4, which establishes requirements to meet all local, state and federal environmental requirements. This includes the implementation of stormwater/urban runoff management and discharge controls to improve water quality and comply with federal regulations, and any subsequent amendments, revisions, or ordinances pertaining thereto
54. The applicant shall submit a Final WQMP including plans and details providing the elevations, slopes, and other details for the proposed structural BMPs including the required Low Impact Development best management practices, roof drains to vegetation and trash enclosure. The project proponent should request a Final WQMP Pre-submittal letter before beginning this process. The MJPA Engineering Department shall review and approve the final WQMP text, plans and details.

Clean Air Provisions (Timing Varies):

55. The operator shall cooperate with March JPA in the pursuit of Carl Moyer clean air grants. Grants shall be used to pursue clean air technology inclusive of clean burning engines, alternate fuel vehicles, diesel particulate traps, alternate fuel refrigeration units, and electrification of dock ramp positions.
56. The Project shall provide a parking lot design that includes clearly marked pedestrian pathways between truck parking and loading areas and building entrances.

57. Project shall include permanent TMA membership per the Specific Plan Amendment. (MMRP)
58. Project shall be oriented towards existing transit, bicycle, or pedestrian corridor. Setback distance between project and existing or planned adjacent uses shall be minimized. Setbacks between project buildings and planned or existing sidewalks shall be minimized. Buildings shall be oriented towards existing or planned street frontage. Primary entrances to buildings shall be located along planned or existing public street frontage. Project shall provide bicycle access to any planned bicycle corridor(s). Project shall provide pedestrian access to any planned pedestrian corridor(s). (MMRP)
59. Project shall install Energy Star labeled roof materials. (MMRP)
60. The Developer is encouraged to use materials which are resource efficient, recycled, with long life cycles and manufactured in an environmentally friendly way. (MMRP)
61. The Developer shall comply with the 2022 CAL Green Standards for Electrical Vehicle (EV) Infrastructure and consider installing either EV Capable, EV Ready or EV Installed infrastructure for on-site parking spaces. Prior to Building Final/Certificate of Occupancy, the Developer shall provide certification that the appropriate infrastructure has been installed and operational.
62. Prior to issuance of a grading or building permit, the Construction Contractor shall submit a Construction Management Plan identifying compliance with all construction mitigation measures identified in the Meridian Subsequent EIR (SCH#2009071069). (MMRP)
63. All construction activities shall be limited to between 7:00 am and 8:00 pm, as feasible. (MEIR)

MJPA ARCHEOLOGY/PALEONTOLOGY:

64. Human Remains: If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the Planning Director.

65. Inadvertent Archeological Finds: If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition only, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance as determined in consultation with the Consulting Native American Tribe(s).
- (a) All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the tribal representative(s) and the Planning Director to discuss the significance of the find.
 - (b) At the meeting, the significance of the discoveries shall be discussed and after consultation with the tribal representative(s) and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.
 - (c) Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.
 - (d) Treatment and Disposition of the inadvertently discovered resources shall be carried out in one or more of the following methods:
 - (e) Preservation-In-Place of the cultural resources, if feasible. Preservation in place means avoiding the resources; leaving them in the place they were found with no development affecting the integrity of the resources.
 - (f) Onsite reburial of the discovered items. This shall include measures and provisions to protect the future reburial area from any future impacts in perpetuity. Reburial shall not occur until all legally required cataloging and basic recordation have been completed. No recordation of sacred items is permitted without the written consent of all Consulting Native American Tribal Governments as defined in COA #66.
 - (g) Pursuant to Calif. Pub. Res. Code § 21083.2(b) avoidance is the preferred method of preservation for archaeological resources and cultural resources. If the landowner and the Tribe(s) cannot come to a consensus on the significance or the mitigation for the archaeological or cultural resources, these issues will be presented to the March Joint Powers Authority Planning Director (Director) for decision. The Director shall make the determination based on the provisions of the California Environmental Quality Act with respect to archaeological resources, recommendations of the project archeologist and shall consider the cultural and religious principles and practices of the Tribe. Notwithstanding any other rights available under the law, the decision of the Director shall be appealable to the March Joint Powers Authority Council.”

66. Archeologist Retained: Prior to issuance of a grading permit the project applicant shall retain a Riverside County qualified archaeologist to monitor all ground disturbing activities to identify any unknown archaeological resources.

The Project Archaeologist and the representative(s) from the Native American Tribe (s) shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors. The Project Archaeologist and the Tribal representative(s) shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, mass or rough grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Archaeologist and the Tribal representative(s), shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with any required special interest or tribal monitors.

The developer/permit holder shall submit a fully executed copy of the contract to the Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

Any newly discovered cultural resources shall be subject to an evaluation, in consultation with the Native American Tribe(s) and which will require the development of a treatment plan and monitoring agreement for the newly discovered resources.

67. Paleontologist Required: This site is mapped as having a high potential for paleontological resources (fossils) at shallow depth. Therefore, PRIOR TO ISSUANCE OF GRADING PERMITS:

The permittee shall retain a qualified paleontologist approved by the March Joint Powers Authority Planning Director to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

The project paleontologist retained shall review the approved development plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the Planning Department for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

- a) The project paleontologist shall participate in a pre-construction project meeting with development staff and construction operations to ensure an understanding of any mitigation measures required during construction, as applicable.

- b) Paleontological monitoring of earthmoving activities will be conducted on an as-needed basis by the project paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The project paleontologist or his/her assign will have the authority to reduce monitoring once he/she determines the probability of encountering fossils has dropped below an acceptable level.
- c) If the project paleontologist finds fossil remains, earthmoving activities will be diverted temporarily around the fossil site until the remains have been evaluated and recovered. Earthmoving will be allowed to proceed through the site when the project paleontologist determines the fossils have been recovered and/or the site mitigated to the extent necessary.
- d) If fossil remains are encountered by earthmoving activities when the project paleontologist is not onsite, these activities will be diverted around the fossil site and the project paleontologist called to the site immediately to inspect the remains.
- e) If fossil remains are encountered, fossiliferous rock will be recovered from the fossil site and processed to allow for the recovery of smaller fossil remains. Test samples may be recovered from other sampling sites in the rock unit if appropriate.
- f) Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be reburied on-site in a pre-determined location, typically within the landscape areas and away from any drainage basins to the best possible extent.
- g) A qualified paleontologist shall prepare a report of findings made during all site grading activity with an appended itemized list of fossil specimens recovered during grading (if any). This report shall be submitted to the Planning Department for review and approval prior to building final inspection as described elsewhere in these conditions.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (e.g. Professional Geologist, Professional Engineer, etc.), as appropriate. Two wet-signed original copies of the report shall be submitted directly to the Planning Department along with a copy of this condition, deposit-based fee and the grading plan for appropriate case processing and tracking.

MJPA BUILDING AND SAFETY:

Regarding the Veterans Plaza Car Wash Project, please contact March JPA Building and Safety at 951-656-7000 for direction on how to submit your building application as well as how to submit plans for electronic plan review. Please visit www.marchjpa.com to download the appropriate form(s) for building permit application. Please provide the following sets of plans and documents:

Building and Safety electronic submittals required at first plan review.

- (1) Architectural Plans
- (1) Structural Plans
- (1) Structural Calculations
- (1) Plot/Site Plans
- (1) Electrical Plans
- (1) Electrical Load Calculations
- (1) Plumbing Plans/Isometrics, Water, Sewer and Gas
- (1) Mechanical Plans
- (1) Roof Truss Plans
- (1) Title 24 Energy Calculations
- (1) Green Building Code Compliance Plans
- (1) Precise Grading Plans

Building & Safety General Information

- 68. All structures shall be designed in accordance with the 2022 California Building Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Electrical Code, and the California Green Buildings Standards adopted by the State of California.
- 69. The Developer/Owner is responsible for the coordination of the final occupancy. The Developer/Owner shall obtain clearances from each department and division prior to requesting a final building inspection from Building & Safety. Each agency shall sign the bottom of the Building & Safety Job Card.
- 70. Building & Safety inspection requests can be made twenty-four (24) hours in advance for the next day inspection.
- 71. All construction sites must be protected by a security fence and screening. The fencing and screening shall be maintained at all times to protect pedestrians.
- 72. Temporary toilet facilities shall be provided for construction workers. The toilet facilities shall be maintained in a sanitary condition. Construction toilet facilities of the non-sewer type shall conform to ANSI requirements.
- 73. Construction projects which require temporary electrical power shall obtain an electrical permit from Building & Safety. No temporary electrical power will be granted to a project unless one of the following items is in place and approved by Building & Safety and the Planning Department:
 - a) Installation of a construction trailer, or,
 - b) Security fenced area where the electrical power will be located.
- 74. Installation of construction trailers must be located on private property. No trailers can be located in the public right of way.
- 75. Site development and grading shall be designed to provide disabled access to all entrances

and exterior ground floors exits and access to normal paths of travel, and where necessary to provide access. Paths of travel shall incorporate (but not limited to) exterior stairs, landings, walks and sidewalks, pedestrian ramps, curb ramps, warning curbs, detectable warning, signage, gates, lifts and walking surface materials. The accessible route(s) of travel shall be the most practical direct route between accessible building entrances, site facilities, accessible parking, public sidewalks, and the accessible entrance(s) to the site, California Building Code, (CBC) Chapter 11, Sections, 11A and 11B.

76. March JPA enforces the State of California provisions of the California Building Code disabled access requirements. The Federal Americans with Disabilities Act (ADA) standards may differ in some cases from the California State requirements; therefore it is the building owner's responsibility to be aware of those differences and comply accordingly.
77. Site facilities such as parking open or covered, recreation facilities, and trash dumpster areas, and common use areas shall be accessible per the CBC, Chapter 11.
78. Pursuant to the California Business and Professions Code Section 6737, most projects are required to be designed by a California Licensed Architect or Engineer. The project owner or developer should review the section of the California Codes and comply with the regulation.
79. Building & Safety, (Willdan Engineering) will inspect all structural foundation work, structural work on the building to include plumbing, electrical, mechanical, title 24, green building code items. Building & Safety will also inspect the electrical conduit and wiring in the common areas for light standards as well as disabled accessibility requirements from the public right of way to the building and the disabled parking stalls. Signage will be inspected by Building & Safety as well as trash enclosures and other ornamental structures on the site.
80. Engineering will review rough and precise grading plans on site as well as all improvements in the public right of way. Engineering will inspect on site utilities starting 5 foot outside of the building as well as all the curb, gutter and sidewalk construction.
81. Storm Water Retention, (CG Resource Management) will inspect the NPDES and storm water requirements on and off site.
82. Western Municipal Water District inspects all water service installations on site and off site as well as any sewer connections to grease interceptors on site

Building & Safety Conditions

83. Prior to the issuance of a building permit, the applicant shall pay all Development Improvement Fee's; this includes school fees and outside agency fees such as sewer water and utilities. Copies of receipts shall be provided to Building & Safety prior to permit issuance.
84. All on-site utilities shall be underground to the new proposed structure unless prior approval has been obtained by the utility company or March JPA.

85. Prior to issuance of building permits, on site water service shall be installed and approved by the responsible agency. On site fire hydrants, shall be approved by the Fire Department. No flammable materials will be allowed on the site until the fire hydrants are established and approved.
86. Prior to issuance of building permits, site grading certification and pad certifications shall be submitted to Building & Safety. Prior to concrete placement, submit a certification for the finish floor elevation and setbacks of the structures. The certification needs to reflect that the structure is in conformance with the Precise Grading Plans. Compaction reports shall accompany pad certifications. The certifications are required to be signed by the engineer of record.
87. Prior to issuance of building permits, provide Building & Safety with a will serve letter from Western Municipal Water District.
88. All construction projects shall comply with the National Pollutant Discharge Elimination Systems (NPDES).
89. Special inspectors and structural observation inspectors that are required by the building code shall register with Building & Safety. The special inspectors shall provide a copy of their certifications as well as a copy of their driver's license before they start work as an inspector on the project. Special inspectors are required to provide a hard copy of the reports in the construction office daily for the inspectors' use. The special inspectors shall make all necessary and required inspections before March JPA inspectors provide periodic inspections.
90. A Certificate of Occupancy will be granted to the Developer/Owner when the building is 100 percent complete, and all agencies have signed for permanent occupancy.

MARCH JPA ENGINEERING - WILLDAN ENGINEERING

With respect to the Conditions of Approval for the above-referenced project, the March Joint Powers Authority (March JPA) requires the applicant to provide the necessary improvements and/or dedications in accordance with the March JPA requirements and standards, as shown on the site plan. It is understood that the site plan accurately reflects all existing rights-of-way, traveled ways, and drainage patterns, and any omissions may necessitate resubmission for further consideration.

General Conditions:

91. Final conditions of approval, including any additional requirements, will be addressed and may be imposed during the plan check process, subject to the review of final grading and civil plans by the March JPA Engineer.

MARCH JPA RESOURCE ENGINEERING - CGRME

The referenced project submitted as Greens Inv. 11, LLC, CUP 22-03, Veterans Plaza Car Wash Project,

92. The Car Wash Project is located within the Phase 2 Area of the Veterans Plaza Commercial Center and is subject to the Phase 2 Master Water Quality Master Plan (WQMP). As such, the Applicant will be required to submit an Addendum to the Master WQMP, which shall substantially conform the Phase 2 Master WQMP. The Addendum WQMP shall include plans, elevations, slopes, and any other details necessary to implement the required BMPs for compliance with the 2012 Riverside Co WQMP Guidance Document.

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

On June 13, 2024, the Riverside County Airport Land Use Commission (ALUC) found the March Joint Powers Authority Case No. CUP 22-03 (Conditional Use Permit), a proposal to construct a 3,596 square foot drive-thru Car Wash Building on 1.08 acres, located northerly of Van Buren Boulevard, and easterly of Opportunity Way **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

93. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
94. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.).
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children’s schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including, but not limited to places of worship and theaters), buildings with more than 2 aboveground habitable floors, hazardous materials and critical community infrastructure facilities.
- (f) Highly noise-sensitive outdoor non-residential uses. Examples of noise-sensitive outdoor nonresidential uses that are prohibited include, but are not limited to, major spectator-oriented sports stadiums, amphitheatres, concert halls, and drive-in theaters.
- (g) Other hazards to flight.

- 95. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority or its successor in interested or provide evidence that such easement has previously conveyed. The Airport Authority may waive this requirement in the event that the Authority determines that pre-existing avigation easements dedicated to the United States of America are sufficient to address its needs. Contact the March Joint Powers Authority at (951) 656-7000 for additional information.
- 96. Any other proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the stormwater basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the stormwater basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC “LANDSCAPING NEAR AIRPORTS” brochure, and the “AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT” brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: “There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes”. The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.



97. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
98. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
99. The project has been evaluated as a 3,596 square foot Car Wash Building. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
100. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
101. The attached, "Notice of Airport Vicinity", below shall be given to all prospective purchasers and occupants of the property.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business and Professional Code Section 11010 (b) (13) (A)

102. The Federal Aviation Administration has conducted aeronautical studies of the proposed project (Aeronautical Study Nos. 2023-AWP-12865-OE and 2023-AWP-12866-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 M and shall be maintained in accordance therewith for the life of the project.
103. The proposed structures shall not exceed a height of 29 feet above ground level and a maximum elevation at top point of 1581 feet above mean sea level.
104. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission. The specific coordinates, frequencies, and power shall not be amended without further review by the Federal Aviation Administration.
105. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 29 feet in height and a maximum elevation of 1581 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
106. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.
107. Any questions pertaining to the project, please contact Paul Rull, ALUC Director, at (951) 955-6893.

RIVERSIDE COUNTY FIRE DEPARTMENT

Riverside County Fire Department Office of the Fire Marshal has reviewed the submitted plans and documents for the above referenced project and they are approved with the following conditions of approval. These conditions are preliminary and further review will be conducted upon receipt of additional entitlement and/or construction submittals. Additional requirements may be required based upon the adopted codes at the time of submittal:

108. Prior to Permit Issuance - Fire Protection Water Supplies/Fire Flow:
Minimum fire flow for the construction of all buildings and project is required per CFC Appendix B. Will Serve Letters from the responsible water purveyor with capabilities of water in the public street along the property line is required prior to a map recordation or Prior to building permit issuance for new construction, the applicant shall provide documentation to show there exists a water system capable of delivering the required fire flow. Specific design features may increase or decrease the required fire flow.
109. Prior to Permit Issuance - Fire Protection Water Supplies/Hydrants:
The minimum number of fire hydrants required, as well as the location and spacing of fire hydrants, shall comply with CFC Appendix C and NFPA 24. Fire hydrants shall be located no more than 400 feet from all portions of the exterior of the building along an approved route on a fire apparatus access road, unless otherwise approved by the fire department. In areas where new water mains are extended along streets and hydrants are not needed for protection of structures, standard fire hydrants shall be provided at spacing not to exceed 1,000 feet along streets for transportation hazards. Fire hydrants shall be at least 40 feet from the building it is serving. A fire hydrant shall be located within 20 to 100 feet of the fire department connection for buildings protected with a fire sprinkler system. The size and number of outlets required for the approved fire hydrants are 4" x 2 1/2" x 2 1/2" (super hydrant). Reference CFC as amended and NFPA 24.).
110. Prior to Permit Issuance – Fire Department Access:
Fire Department emergency vehicle apparatus access road locations and design shall be in accordance with the California Fire Code and Riverside County Fire Department Standards. Plans must be submitted to the Fire Marshal office for review and approval prior to building permit issuance.
111. Prior to Permit - Fire Department Plan Review:
Submittal of construction plans to the Fire Department will be required. This will require a separate permit application submitted directly to the Fire Department. This shall include a full site plan including all fire apparatus access roads. Final fire and life safety conditions will be addressed when the Fire Department reviews these plans. These conditions will be based on California Fire Code, California Building Code (CBC), and related codes/standards adopted at the time of construction plan submittal.

RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT

In a letter dated June 27, 2024, the Riverside County Flood Control and Water Conservation District provided the following for CUP 22-03, APN 294-070-044:

112. An encroachment permit shall be obtained for any construction related activities occurring within District right of way or facilities, namely, Perris Valley Master Drainage Plan B-1 South Channel Basin. If a proposed storm drain connection exceeds the hydraulic performance of the existing drainage facilities, mitigation will be required. For further information, contact the District's Encroachment Permit Section at 951.955.1266.
113. The development of this site will generate an increase in peak flow rates and could adversely impact the downstream property owners. Mitigation will be required to offset such impacts. Mitigation may not be required if the proposed storm drain outlet ties into a storm drain system conveying flows to the Perris Valley Master Drainage Plan B-1 South Channel Basin.

General Information:

114. This project may require a National Pollutant Discharge Elimination System (NPDES) permit from the State Water Resources Control Board. Clearance for grading, recordation, or other final approval should not be given until the City has determined that the project has been granted a permit or is shown to be exempt.
115. If this project involves a Federal Emergency Management Agency (FEMA) mapped floodplain, the City should require the applicant to provide all studies, calculations, plans, and other information required to meet FEMA requirements, and should further require the applicant obtain a Conditional Letter of Map Revision (CLOMR) prior to grading, recordation, or other final approval of the project and a Letter of Map Revision (LOMR) prior to occupancy.
116. The project proponent shall bear the responsibility for complying with all applicable mitigation measures defined in the California Environmental Quality Act (CEQA) document (i.e., Negative Declaration, Mitigated Negative Declaration, Environmental Impact Report) and/or Mitigation Monitoring and Reporting Program, if a CEQA document was prepared for the project. The project proponent shall also bear the responsibility for complying with all other federal, state, and local environmental rules and regulations that may apply.
117. If a natural watercourse or mapped floodplain is impacted by this project, the City should require the applicant to obtain a Section 1602 Agreement from the California Department of Fish and Wildlife and a Clean Water Act Section 404 Permit from the U.S. Army Corps of Engineers, or written correspondence from these agencies indicating the project is exempt from these requirements. A Clean Water Act Section 401 Water Quality Certification may be required from the local California Regional Water Quality Control Board prior to

issuance of the Corps 404 permit.

UNITED STATES POSTAL SERVICE

118. Prior to the issuance of building permits, the developer shall contact the U.S. Postal Service to determine the appropriate type and location of mailboxes.

WESTERN MUNICIPAL WATER DISTRICT

Below are Western Municipal Water District's (Western) Conditions of Approval for the above referenced project as follows:

119. Compliance with water efficient landscape requirements per the March Joint Powers Authority Ordinance.
120. 2. All applicable Added Facilities Charges (for water facilities), Sewer Connection Fees, and Meter Installation Fees must be paid as well as Cross Connection Testing and regulatory compliance approved prior to the installation of any water meter.
121. Proposed facilities for water, sewer, recycled water service as well as onsite irrigation facilities must be designed by a Registered Civil Engineer (engineer) and reviewed and approved by Western Water. Deposit for Plan Check must be received prior to plan submittal and Deposit for Inspection must be received prior to approval of the plans.
122. Western Water, as a member agency of Metropolitan Water District of Southern California (MWD) will enforce MWD's Plan for Water Use Efficiency Guideline requirements for water conservation.
123. The property is located within the 1837 Pressure Zone. Currently, Western Water has an existing 12-inch water pipeline located on-site for service connection to the proposed project. The available Fire Flow must be determined by a flow test or fire flow modeling.
124. Coordinate with fire protection agency of jurisdiction to determine required fire flow for the proposed project and advise Western of the fire flow requirements. Submit request to Western Water for fire flow modeling to determine if existing water systems capacity is available to provide the required fire flow. Depending on the results of the fire flow modeling additional conditions of approval such as upsizing of existing pipes, extension of pipes, installation of parallel piping or installation of pumps, at the developer's cost, may be required.
125. Western Water has an existing 8-inch recycled water pipeline in Opportunity Way for service connection to the proposed project.
126. Western Water has an existing 8-inch sewer pipeline on-site for service connection to the proposed project.

127. Developer to submit a 24" x 36" preliminary onsite and/or offsite plan of water, sewer and/or recycled water plan layout to Western Water before formal submittal of Water, Sewer and/or Recycled Improvement Plans.
128. Preliminary water, sewer and/or recycled water plans shall show the following items:
 - a. Delineate all existing utility facilities (i.e., pipe diameter, pipe material, manholes, water meters, air/vac, blow-off, fire hydrants, valves, sewer, gas, communication, electrical, etc.) within project boundaries.
 - b. Delineate all easements within project boundaries.
 - c. Delineate all proposed and existing lots, streets, and storm drains.
 - d. Delineate all proposed water, sewer and/or recycled water facilities within project boundaries. Include pipeline diameters and type of material.
129. Developer to submit a detailed engineer's construction cost estimate to Western for review and approval. Once approved, developer shall make a deposit for plan checking services for Water, Sewer and/or Recycled Water Improvement Plans.
130. Water, Sewer and/or Recycled Water Improvement Plans shall be designed per Western's Standard Specifications. Please review Western Water's Developer Handbook for submittal formats and requirements online at: <http://www.wmwd.com/162/Developer-Handbook>
131. Water, Sewer, and Recycled Water Commercial Plans for connections only shall be designed per Western Water's Standards and Specifications. Please review Western Water's Commercial Plan Check Package for submittal formats and requirements online at: <http://www.wmwd.com/DocumentCenter/Home/View/237>
132. Developer to submit grading plans for Western Water's review and approval before grading permit is issued.
133. Water, Sewer and/or Recycled Water Improvement Plans or Commercial Plans shall not be approved until all items mentioned above are received and approved by Western Water.
134. The developer is responsible for installing, paying all costs, and obtaining an encroachment permit from the local jurisdiction having authority over installation of water, sewer and/or recycled water facilities including laterals in the public right-of-way. If the customer chooses to cross private property, then the customer is responsible to obtain private easements from adjacent property owners. Proof of private easement must be provided to Western prior to plan approval.
135. Provide and/or pay for all applicable cost and fees including connection facilities, relocation of facilities, and additional facilities that may be necessary to accommodate applicant's proposed water and sewer usage, while maintaining resiliency of pipelines within Western

Water's distribution system. This may include the upsizing of pipelines, installation of pressure reduction, and/or pump stations (subject to the application of appropriate credits for additional facilities provided by applicant).

136. For water, sewer and/or recycled water service by Western, the developer must comply with the "Standard Conditions," and all applicable Rules, Regulations, and General Policies of Western Water at the time of construction.
137. Contact Western Water's Development Services Department at (951) 571-7100 for further information.

ATTACHMENT A

Standard March JPA Operation Mitigation Measures

To be placed on the cover sheet of all grading and building construction plan submittals

1. Future uses shall comply with all applicable permitting requirements for new or modified emission sources subject to SCAQMD rules and regulations.
2. All internal combustion engine-driven equipment will be properly maintained and tuned according to manufacturer's specifications.
3. Hazardous materials certified handler and disposal service shall conduct the disposal and servicing of any hazardous materials.
4. All landscaped areas shall be maintained in a healthy and thriving condition, free from weeds, trash and debris by the developer or the developer's successor-in-interest. The developer, or the developer's successor-in-interest, shall be responsible for maintaining any undeveloped portion of the site in a manner that provides for the control of weeds, erosion and dust.
5. Green waste generated by the Development shall be kept separate from other waste types in order that it can be recycled for onsite composting or directed to local wood grinding and/or composting facility.
6. Any graffiti located onsite shall be removed within 48 hours. The site shall be maintained in a graffiti-free state at all times.

ATTACHMENT B

**GREENS INV 11, LLC
ACCEPTANCE OF CONDITIONS OF APPROVAL
FOR THE
VETERANS PLAZA CAR WASH PROJECT
CONDITIONAL USE PERMIT 22-03**

The March Joint Powers Commission considered and **APPROVED** the Veterans Plaza Car Wash Project, with **Conditions of Approval**, on _____.

Greens Inv 11, LLC, acknowledges and accepts the Conditions of Approvals for the Veterans Plaza Car Wash Project, as approved by the March Joint Powers Commission. Upon signature and return of this Acceptance to the March Joint Powers Authority, Greens Inv 11, LLC, will be allowed/authorized to submit construction plans for the Veterans Plaza Commercial Center Car Wash Project.

GREENS INV 11, LLC

Owner/Applicant Signature

Date

Owner/Applicant Printed Name

Owner/Applicant Title/Position

ATTACHMENT 2

Veterans Plaza Car Wash Project
Conditional Use Permit 22-03

NOTICE OF DETERMINATION



MARCH JOINT POWERS AUTHORITY

14205 Meridian Parkway, Suite 140 | Riverside, CA | 92518
 (951) 656-7000 | FAX (951) 653-5558 | WEBSITE: www.marchjpa.com | E-MAIL: info@marchjpa.com

NOTICE OF DETERMINATION

TO:	<input type="checkbox"/> Clerk of the Board of Supervisors or <input checked="" type="checkbox"/> County Clerk County of: Riverside Address: 2724 Gateway Drive Riverside, CA 92507	FROM:	Public Agency/Lead Agency: March Joint Powers Authority Address: 14205 Meridian Parkway, Suite 140 Riverside, CA 92518 Contact: Jeffrey M. Smith, AICP Phone: (951) 656-7000
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TO:	<input checked="" type="checkbox"/> Office of Planning and Research P. O. Box 3044 Sacramento, CA 95812-3044 <input checked="" type="checkbox"/> 1400 Tenth Street (overnight or hand delivery) Sacramento, CA 95814		Lead Agency (if different from above) Address: Contact: Phone:
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SUBJECT: Filing of Notice of Determination in Compliance with Section 21108 or 21152 of the Public Resources Code.

State Clearinghouse Number (If submitted to SCH): 2009071069	
Project Title: Veterans Plaza Car Wash Project: Conditional Use Permit 22-03 (PP 22-03)	
Project Applicant: Greens INV 11, LLC.	
Specific Project Location – Identify street address and cross street or attach a map showing project site (preferably a USGS 15’ or 7 ½’ topographical map identified by quadrangle name):	
The 1.08-acre vacant/parcel Project site is located at the southeast intersection of Sysco Way and Opportunity Way, north of Van Buren Boulevard, in unincorporated Riverside County, California, within the land use jurisdiction of the March Joint Powers Authority. See attached map.	
General Project Location (City and/or County): County of Riverside	
Project Description: The proposed Project consists of the following:	
<p><u>Conditional Use Permit (CUP 22-03):</u> The proposed Conditional Use Permit would allow for the development of a 3,596 square foot, automated drive-through car wash facility on a 1.08-acre vacant parcel. The primary entrance to the car wash facility is oriented off of the Sysco Way/Opportunity Drive-drive aisle, leading into three stacking lanes, which will accommodate up to 16 cars. The car wash facility will also include a covered vacuum/detailing area, with parking stalls which will accommodate up to 8 cars, 2 onsite parking stalls, 2 ADA parking stalls, along with 6 bicycle parking spaces, one trash enclosure, landscaping, and associated paving. The building is single-story with varying building heights and a tower feature, with a maximum height is 29 feet. The project has been designed in accordance with the Meridian North Specific Plan (SP-5, A5) Development Standards.</p>	

Identify the person or entity undertaking the project, including any private applicant, any other person undertaking an activity that receives financial assistance from the Public Agency as part of the project, and any person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the project.

Greens INV 11, LLC

This is to advise that the (Lead Agency or Responsible Agency) has approved the above described project on **September 11, 2024** and has made the following determinations regarding the above described project:

1.	<input type="checkbox"/>	The project will have a significant effect on the environment.
	<input checked="" type="checkbox"/>	The project will NOT have a significant effect on the environment beyond those previously analyzed.
2.	<input checked="" type="checkbox"/>	An Environmental Impact Report, and subsequent CEQA Addendum, were previously prepared and certified/adopted for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency (SCH# 2009071069).
	<input type="checkbox"/>	A Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
	<input type="checkbox"/>	A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA and reflects the independent judgment of the Lead Agency.
	<input checked="" type="checkbox"/>	A CEQA Addendum was prepared, which considered this proposed project pursuant to the provisions of CEQA and reflects the independent judgement of the Lead Agency.
3.	<input checked="" type="checkbox"/>	Mitigation measures from the applicable Certified Subsequent EIR were made a condition of the approval of the project but were adopted when the Subsequent EIR was certified.
	<input type="checkbox"/>	Mitigation measures were NOT made a condition of the approval of the project.
4.	<input type="checkbox"/>	A Mitigation Monitoring or Reporting Plan was adopted for this project.
	<input checked="" type="checkbox"/>	A new Mitigation Monitoring or Reporting Plan was NOT adopted for this project.
5.	<input type="checkbox"/>	A Statement of Overriding Considerations was adopted for this project.
	<input checked="" type="checkbox"/>	A Statement of Overriding Considerations was NOT adopted for this project but were made when the Subsequent EIR was certified.
6.	<input checked="" type="checkbox"/>	Findings were made pursuant to the provisions of CEQA that no further environmental analysis was required pursuant to Public Resources Code section 21166 and State CEQA Guidelines section 15162.
	<input type="checkbox"/>	Findings were NOT made pursuant to the provisions of CEQA.
Custodian: March Joint Powers Authority		Location: 14205 Meridian Parkway, Suite 140 Riverside, CA 92518

Date: <u>September 11, 2024</u>	Signature: _____
Date Received for Filing: _____	Title: <u>Principal Planner</u>

Authority cited: Sections 21083, Public Recourse Code.
Reference Section 21000-21174, Public Resources Code.



Veterans Plaza Commercial Center Car Wash Project Location:

The approximately 1.08-acre, vacant Project site is located at the southeast intersection of Sysco Way and Opportunity Way, north of Van Buren Boulevard, in unincorporated Riverside County, California, within the land use jurisdiction of the March Joint Powers Authority.

ATTACHMENT 3

Veterans Plaza Car Wash Project
Conditional Use Permit 22-03

**PLANNING DIRECTOR'S
JULY 17, 2024
DETERMINATION OF SUBSTANTIAL CONFORMANCE**

MARCH JOINT POWERS AUTHORITY



July 17, 2023

Adam Corral

Vice President, Development
Greens Development
8815 Research Drive
Irvine, CA. 92618

RE: SUBSTANTIAL CONFORMANCE DETERMINATION FOR A CAR WASH USE WITHIN THE COMMERCIAL ZONING DISTRICT IN THE MERIDIAN SPECIFIC PLAN (SP-5, A5) AREA.

File No.: Substantial Conformance 23-01
Project Name: Veterans Plaza Commercial Center Project
Address: 22400 Van Buren Boulevard, Riverside, CA 92518

Dear Applicant:

On April 12, 2017, the March Joint Powers Authority Commission considered and adopted the following:

- Resolution # JPA 17-03: Approving a Master Conditional Use Permit (CUP 16-01), Plot Plan (PP 16-02), Tentative Tract Map (TM 37116), and Variance (V16-01), with Conditions of Approval

On November 29, 2018, September 4, 2019. February 3, 2021 and July 14, 2022, the March Joint Powers Authority Planning Director reviewed and approved Determination of Substantial Conformances for Plot Plan 16-02. The Substantial Conformances mentioned above addressed minor modifications to the approved Plot Plan and Conditional Use Permit, including:

- Reorientation of the project site,
- Minor change in Project phasing,
- Reduction in total building square footages and building locations,
- Elimination of one driveway entry along Opportunity Way,
- Minor modifications to the approved building elevations,
- Additional fuel pumps (2) for the Gas Station, and
- Site Circulation, Queuing, and Additional Parking in relation to In-&-Out.

Since the last approval, a request for a Car Wash Use within the Commercial Zoning District in the Meridian Specific Plan (SP-5, A5) Area has been reviewed and approved as outlined in the Car Wash Use Substantial Conformance 23-01 Letter, signed by MJPA Planning Director on July 17, 2023 (Memo to Project File). A Notice of Exemption (NOE) will be filed pursuant to March JPA Local California Environmental Quality Act (CEQA) Guidelines on July 17, 2023. Filing and posting of an NOE starts a 30-day statute of limitations period on legal challenges to the approval under CEQA Section 15062(d).

Should you have any questions related to this correspondence you may contact me at smith@marchjpa.com or (951) 656-7000. Thank you.

Sincerely,

A handwritten signature in blue ink that reads "Jeffrey M. Smith". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Jeffrey M. Smith, AICP
Principal Planner
March Joint Powers Authority

cc: Atman Kadakia
Attachments: 1. Letter to File: Car Wash Use Substantial Conformance 23-01
2. Notice of Exemption (See Letter, Attachment 5)

MARCH JOINT POWERS AUTHORITY



TO: FILE - SUBSTANTIAL CONFORMANCE 23-01

FROM: DAN FAIRBANKS, PLANNING DIRECTOR

A handwritten signature in blue ink, appearing to read 'Dan Fairbanks', is written over the 'FROM:' line.

DATE: JULY 17, 2023

SUBJECT: SUBSTANTIAL CONFORMANCE DETERMINATION FOR A CAR WASH USE WITHIN THE COMMERCIAL ZONING DISTRICT IN THE MERIDIAN SPECIFIC PLAN (SP-5, A5) AREA.

DETERMINATION:

The authority to approve a Determination of Substantial Conformance is vested with the March Joint Powers Authority (JPA) Planning Director. The Determination of Substantial Conformance is intended to address minor modifications to Plot Plans and similar development requirements. The Substantial Conformance application is not intended to authorize a deviation from any applicable development standard specified in the March JPA Development Code.

Pursuant to Section 9.02.280 of the March JPA Development Code, the Planning Director has determined that a car wash is permissible in the C-2 zone, as provided in SP-5, A5 (Meridian Specific Plan), subject to conditional use permit review and approval. The allowance of a commercial car wash facility subject to conditional use permit approval, is consistent with the required findings for a Determination of Substantial Conformance, identified in Development Code Section 9.02.280 C.

SUMMARY OF PRIOR PLOT PLAN APPROVAL:

The Veteran's Plaza Commercial Center Project was approved by the March Joint Powers Commission on April 12, 2017, through a Master Conditional Use Permit CUP 16-01, Plot Plan 16-02, Tentative Map TM 37116, and Variance V16-01. Plot Plan 16-02 was approved for the phased development of a commercial/service center Known as "Veterans Plaza" (Meridian Unit 4 Lot 4, the Proposed Project), which is located within the southeastern portion of the North Campus of the Meridian Specific Plan (SP-5, A5) Area, specifically on the northeast corner of Van Buren Boulevard and Opportunity Way.

The Project consisted of a 14.4-acre site with 10 buildings that will be used for a mixture of retail and commercial uses and includes two upper mid-scale hotels, a gas station and convenience store, two fast food restaurants with drive-thru service, two traditional sit-down restaurants, one mixed-use retail/fast food building and one mixed-use retail restaurant

buildings. The Project was planned to take access from Opportunity Way via three driveways, including one “right-in/right-out” driveway on Van Buren Boulevard.

The Project was proposed to be developed in two phases; Phase 1 to include a Gas Station with Convenience Store, two fast food restaurants, a mixed use/retail building and a restaurant with a total building area of 21,700 square feet; and, Phase 2 to include two retail buildings, a restaurant and two hotels with a total building area of 197,925 square feet. As approved, the total building area on-site would be 219,695 square feet and included 606 parking spaces and 251 hotel rooms.

On four occasions, November 29, 2018, September 19, 2019, February 3, 2021, and July 14, 2022, the Planning Director for the March Joint Power Authority, approved Determination of Substantial Conformances for Plot Plan 16-02. The Substantial Conformances mentioned above addressed minor modifications to the approved Plot Plan and Conditional Use Permit, including:

- Reorientation of the project site,
- Minor change in Project phasing,
- Reduction in total building square footages and building locations,
- Elimination of one driveway entry along Opportunity Way,
- Minor modifications to the approved building elevations,
- Additional fuel pumps (2) for the Gas Station, and
- Site Circulation, Queuing, and Additional Parking in relation to In-&-Out.

The changes associated with the previously approved development project are in substantial conformance with Plot Plan 16-02, approved by the Joint Powers Commission on April 12, 2017. It should be noted that the approved changes/modifications allowed the developer flexibility and to meet market demands while staying consistent with the original plot plan approval. The total building area is approximately 201,658 square feet, with 703 parking spaces.

Currently, the southern portion of this 14.4-acre site, adjacent to Van Buren Boulevard, has been developed with a hotel and restaurants, gas station, and ancillary retail uses. This request for a use interpretation is due to a specific use, an express car wash, which seeks to develop on the site area immediately north of the existing Gas Station/Convenience Store located at the northeast corner of Opportunity Way and Van Buren Boulevard.

AUTHORITY:

In accordance with section 9.01.120 B. of the March JPA Development Code (Planning Director Interpretation), Section 9.02.280 of the March JPA Development Code (Substantial Conformance) and Section III.B.2 of the Meridian Specific Plan SP-5, A2 (Purpose and Intent), the March JPA Planning Director may determine that a use is similar to, and no more

objectional than, other permitted or conditionally permitted uses within the applicable zoning districts in the Meridian Specific Plan (SP5, A5) area.

OVERVIEW:

The requested use is an express car wash. The use is different than a full-service car wash in that the car wash is highly automated, and the interior of the car is not cleaned by car wash employees. The process differs in that after the car wash and air-drying cycle, customers may drive to shaded parking facilities where pay-for-use vacuum facilities are available for interior cleaning. The express car wash model involves patrons staying in their cars during the moving wash, no interior minimart facility, and significantly fewer employees.

COMPARATIVE ANALYSIS OF ZONES THAT ALLOW CAR WASHES:

Meridian Comparable Land Uses (SP-5, A5)			
Use (Table III-1) Commercial	Permitted	Conditional Use Permit	Use Not Listed
Automotive Parts and Accessory Sales	X		
Automotive Service Stations		X	
Convenience Sales		X	
Food and Beverage Sales	X		
Restaurants (Fast Food)	X		
Car Wash			X

Title 9 – March JPA Development Code			
Use (Table 9.02.020-1 (Community Commercial)	Permitted	Conditional Use Permit	Use Not Listed
Automotive, Motorcycle, Truck, Boat Repairs and Installation	X ¹		
Car Wash	X ¹		
Convenience Stores with or without drive through	X		
Convenience Stores with alcohol sales	X ¹		
Drinking and eating Establishments	X		
Restaurants (Drive through)	X		
<i>¹ Indicates a use is permitted unless the use is located within 300' or less from a residential zone or use, in which case the use is allowed with a Conditional Use Permit.</i>			

In addition, planning staff has confirmed the information in the applicant's request letter, which identifies that the member jurisdictions of the March Joint Powers Authority (City of Riverside, County of Riverside, City of Perris, and Moreno Valley), allow Car Washes within most Neighborhood Commercial and all Community Commercial Zone(s) as a permitted use, and in some instances require a Conditional Use Permit (CUP).

PROJECT ANALYSIS

Veterans Plaza Commercial Center functions similar to a Community Commercial Center, due to the regional land uses in the area, including Riverside National Cemetery, the nearby March Field Air Museum, Interstate 215, and the surrounding business park. Businesses serving these uses include the hotel, multiple restaurants, and retail services. The restaurants (In-n-Out, Chipotle, Jersey Mike's and Starbucks) function as convenience uses with drive-throughs. The center lacks a major grocery tenant, like most neighborhood shopping centers. A major employer of up to 3,000 employees (Target) is in close proximity to the site, with Sysco (900 employees, also in close proximity to this location.

The car wash functions as a support use for the approximate 15,000 employees within the surrounding area of the Meridian Development. The use is similar to and no more objectionable than other permitted and conditionally permitted uses identified within the Meridian Specific Plan and the March JPA Development Code, as depicted within the Tables in this determination.

According to the March JPA Traffic Engineer, a car wash use will generate 78 PM peak hour trips and the restaurant that it would replace, will generate 37 PM peak hour trips. The increase in trips of 41 is smaller than 100 and that means that this change of use would not trigger a traffic impact study if it were a standalone project. The Applicant is committed to stay within the allocated traffic thresholds for Veterans Plaza, which has been set by the Meridian Specific Plan and the Purchase and Sale Agreement with the Master Developer of 9,468 external average daily trips.

REQUIRED FINDINGS

In accordance with Development Code Section 9.02.280, a request for a Determination of Substantial Conformance is required to make the following findings:

1. The proposal is consistent with the expressed intent of the original Plot Plan 16-02 in that there is no significant changes in the use of the planned 201,658 square foot of commercial development. The application is consistent with this finding in that the use is still related to other existing commercial and convenience commercial uses.

2. The proposal is consistent with March Joint Powers Commission’s approval of Plot Plan 16-02 and the certification of an Addendum to the 2010 Subsequent Environmental Impact Report (SEIR) for the Meridian Specific Plan Amendment (SP-5) (SCH #2009071069), for the Veterans Plaza Commercial Center. The proposal does not modify the building site ingress or egress, and a traffic analysis is not required. The modification does not involve the storage of hazardous materials; and meets all Plot Plan development standards.
3. The proposed modifications do not have the potential to adversely affect surrounding land uses or improvements. As mentioned above, the proposed use is consistent with the original intent of PP 16-02, the use is related to other existing commercial uses and it will not affect surrounding land uses or improvements.

CEQA REVIEW

Findings Under State CEQA Guidelines Section 15061 (b)(3): Under State CEQA Guidelines section 15061 (b)(3), “The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.” The proposed modifications allow a Car Wash to proceed to the March Joint Powers Authority for review of a Plot Plan, Conditional Use Permit and Initial Study through a public hearing process. This determination does not prejudice the Joint Powers Commission, rather it simply allows the use to be treated as other similar uses and allows a full environmental review to occur when the proposal is ripe for environmental review. Pursuant to CEQA, staff will file a Notice of Exemption with the Riverside County Clerk’s Office.

PROJECT CONDITIONS

1. All project conditions of approval and mitigation measures from the 2010 Subsequent Environmental Impact Report (SEIR) for the Meridian Specific Plan Amendment (SP-5) (SCH #2009071069) March Business Center EIR will remain in full force and effect.

ATTACHMENTS:

- 1) Substantial Conformance Request Letter, February 21, 2023
- 2) Veterans Plaza Commercial Center Site Plan
- 3) Proposed Car Wash Site Plan
- 4) Traffic Consistency Memo, December 17, 2021
- 5) Notice of Exemption

ATTACHMENT 1

Car Wash Use – Commercial Zoning District
Meridian Specific Plan (SP-5, A5) Area
Substantial Conformance Determination 23-01

Substantial Conformance Request Letter
February 21, 2023



Dan Fairbanks
 Planning Director
 C/O Jeffrey Smith
 Principal Planner
 March Joint Powers Authority
 14205 Meridian Parkway, Suite 140
 Riverside, CA 92518

2/21/2023

Request for Planning Director Interpretation

Background

Veterans Plaza (the Project) is a phased commercial development located within the southeastern portion of the North Campus, Meridian Specific Plan (SP-5, A5) area, and more specifically located on the northeast corner of Van Buren Boulevard and Opportunity Way. The Proposed Project site is bound by Meridian Unit 4 Lot 3, a Business Enterprise development by JM Realty to the North, the MJPA controlled south detention basin and the I-215 Freeway to the East, Van Buren Boulevard to the South, and Opportunity Way to the West. The Veteran’s Plaza project consists of a 14.4 Acre commercial mixed-use project, which includes: Hotels, Convenience, Gas Station, Fast Food Restaurants, Dining, various Retail and Service uses.

The overall Veterans Plaza Project was previously approved by the March Joint Powers Commission on April 12, 2017: Master Conditional Use Permit (CUP16-01), Plot Plan (16-02), Tentative Map (TM 37116), and Variance (V16-01). This request for interpretation is due to a specific tenant use, an express car wash, which provides a clear definition of a tenant, in lieu of the speculative nature of the prior approvals.

Request

This request for the Planning Director’s Interpretation, is to address a specific use for an Express Car Wash, within the North Campus, Meridian Specific Plan area. This use is currently unidentified as a stand-alone use within the Specific Plan’s Land Use Table III-1, whereas the MJPA’s Development Code, not only lists Car Washes as a specific use, but is listed as a permitted use, if the use is more than 300 feet away from a residential zone, as would be this case. It is also important to note, all member jurisdictions of the March Joint Powers Authority (City of Riverside, County of Riverside, City of Perris, and Moreno Valley), allow Car Washes within most Neighborhood Commercial and all Community Commercial Zone(s) as a permitted use, and in some instances require a Conditional Use Permit (CUP). More specifically, the following table conveys the member jurisdictions, zoning applicability for the Car Wash use:

Jurisdiction	Zoning	Car Wash Permit Type	Gas/Convenience	Fast Food Drive Thru
City of Perris	CN, CC	Allows planning director to determine similar uses with a CUP in CN / Permitted in CC	CUP	CUP

Moreno Valley	CN, CC	Permitted	Permitted > 300 ft from residential, CUP < 300 ft	Permitted > 300 ft from residential, CUP < 300 ft
City of Riverside	CR / CG	CUP	CUP	CUP
County of Riverside	C-1 / CP	Permitted	Permitted no alcohol CUP with alcohol	Allows planning director to determine if similar use

Within the Meridian Specific Plan, an Express Car Wash would have fallen within the definition of “Automotive/Truck Repair - Minor”, which used to be allowed in this zone, but is no longer allowed within the Commercial designation of the Meridian Specific Plan. However, due to the other types of uses within this definition (automotive/light truck repair, brake, muffler, tire shops, etc.), may have been deemed incompatible with the vision for the Center. The Car Wash use itself, within this definition, is no more objectionable, than any of the other drive through and convenience uses currently found on the site.

By observing the existing tenant mix, which is also predominantly convenience, retail, and service-oriented uses, one can see how similar and compatible the car wash use would be, with the types of customers that frequent Veterans Plaza. For example, many people that get gasoline at the gas station, will often want a car wash. The Express Car Wash, as an alternative for the customer to get a better wash in under 3 minutes, is an extremely compelling for customers to not only visit but frequent the center. Furthermore, by having the Car Wash site directly to the north of the existing gas station, is a perfect to realize these synergistic uses. Similarly, this use is also extremely compatible with the other drive thru uses, such as In N Out and Starbucks, as people can get a cup of coffee and get their car washed in a very short time period, on their way to work.

The phasing of this project would be initiated with the second phase of Veterans Plaza. Since this project would be done in the same phase as the In N Out improvements, this will alleviate the existing In N Out congestion we are experiencing at the center. This will be accomplished by providing In N Out more queue length and additional parking within the project site. As such, we believe traffic congestion at the entryway will be vastly improved during the second phase of development.

It is Greens’ opinion that the MJPA’s Executive Director has the authority to make an interpretation under Section III.B.2 of the Meridian Specific plan should “any details, or issues, not specifically covered in these regulations shall be subject to the regulations of the development code”. As such, we would request the MJPA’s Executive Director to review the Development Code, in concert with the Specific Plan, to determine if the Car Wash use would be allowed to proceed as a Conditional Use permit.

Sincerely,



Adam Corral
 Vice President, Greens Development

ATTACHMENT 2

**Car Wash Use – Commercial Zoning District
Meridian Specific Plan (SP-5, A5) Area
Substantial Conformance Determination 23-01**

Veterans Plaza Commercial Center Site Plan



NOT TO SCALE

VICINITY MAP

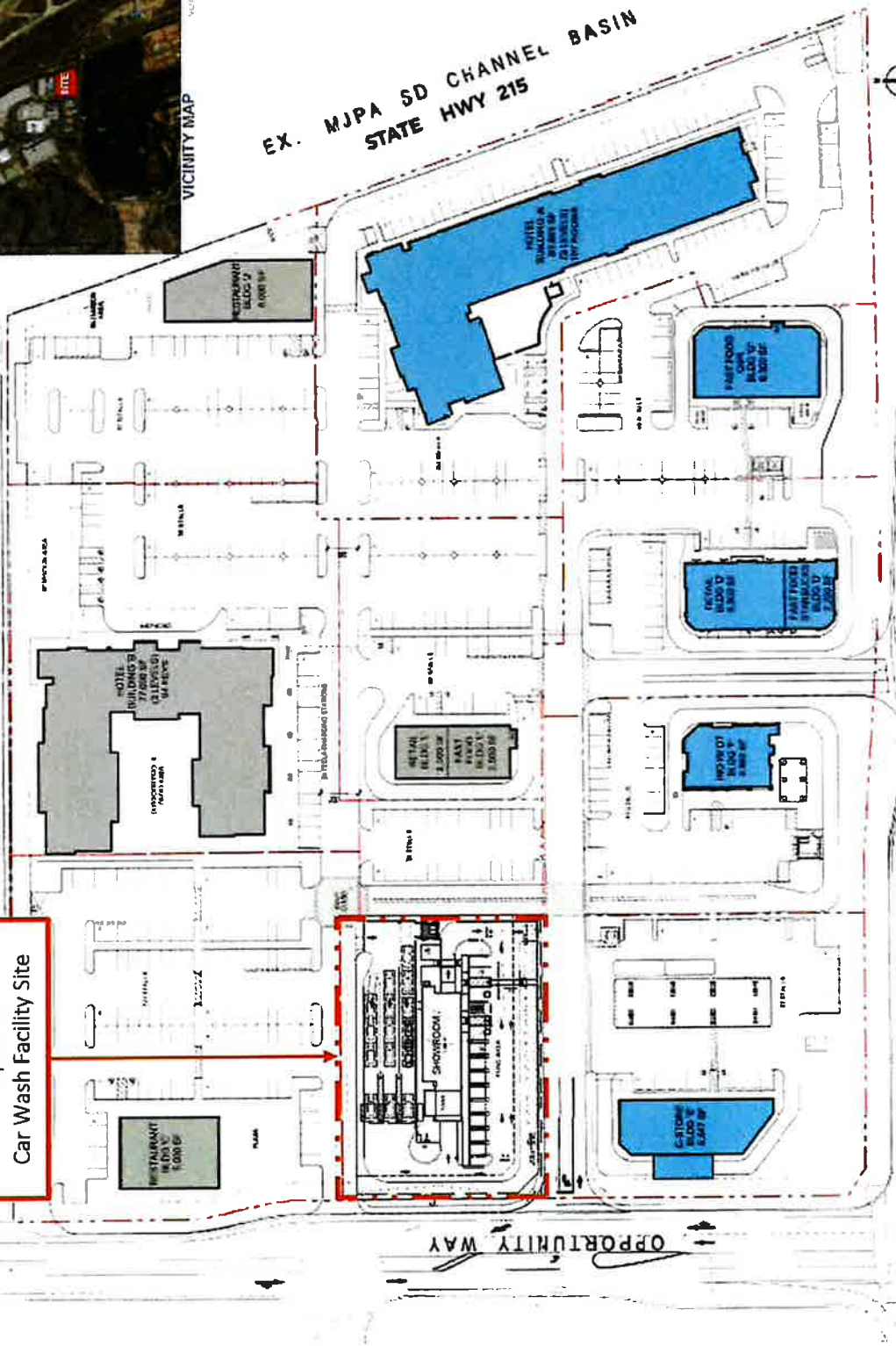
EX. MJPA SD CHANNEL BASIN
STATE HWY 215



PROJECT PHASING:



Proposed
Car Wash Facility Site



VAN BUREN BLVD.

OPPORTUNITY WAY

Veterans Plaza Commercial Center Site Plan

ATTACHMENT 3

Car Wash Use – Commercial Zoning District
Meridian Specific Plan (SP-5, A5) Area
Substantial Conformance Determination 23-01

Proposed Car Wash Site Plan

1	PROJECT NO.	19-0001
2	PROJECT NAME	QUICK QUACK CARWASH
3	CLIENT	QUICK QUACK CARWASH
4	DATE	10/15/2019
5	SCALE	AS SHOWN
6	DRAWN BY	MM
7	CHECKED BY	MM
8	APPROVED BY	MM
9	DATE	10/15/2019
10	SCALE	AS SHOWN
11	DRAWN BY	MM
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34	DATE	10/15/2019
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36	DRAWN BY	MM
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38	APPROVED BY	MM
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41	DRAWN BY	MM
42	CHECKED BY	MM
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44	DATE	10/15/2019
45	SCALE	AS SHOWN
46	DRAWN BY	MM
47	CHECKED BY	MM
48	APPROVED BY	MM
49	DATE	10/15/2019
50	SCALE	AS SHOWN



QUICK QUACK CARWASH
 OPPORTUNITY WAY + VAN BUREN BLVD.
 RIVERSIDE, CA

Overall Site Plan

DATE	10/15/2019
SCALE	AS SHOWN
DRAWN BY	MM
CHECKED BY	MM
APPROVED BY	MM

LEGEND

- 1. EXISTING BUILDING FOOTPRINT
- 2. EXISTING DRIVEWAYS
- 3. EXISTING SIDEWALKS
- 4. EXISTING LANDSCAPE
- 5. EXISTING UTILITIES
- 6. EXISTING EROSION CONTROL
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- 97. EXISTING LIGHT FIXTURES
- 98. EXISTING SIGNAGE
- 99. EXISTING TREES
- 100. EXISTING FENCES

PROPOSED

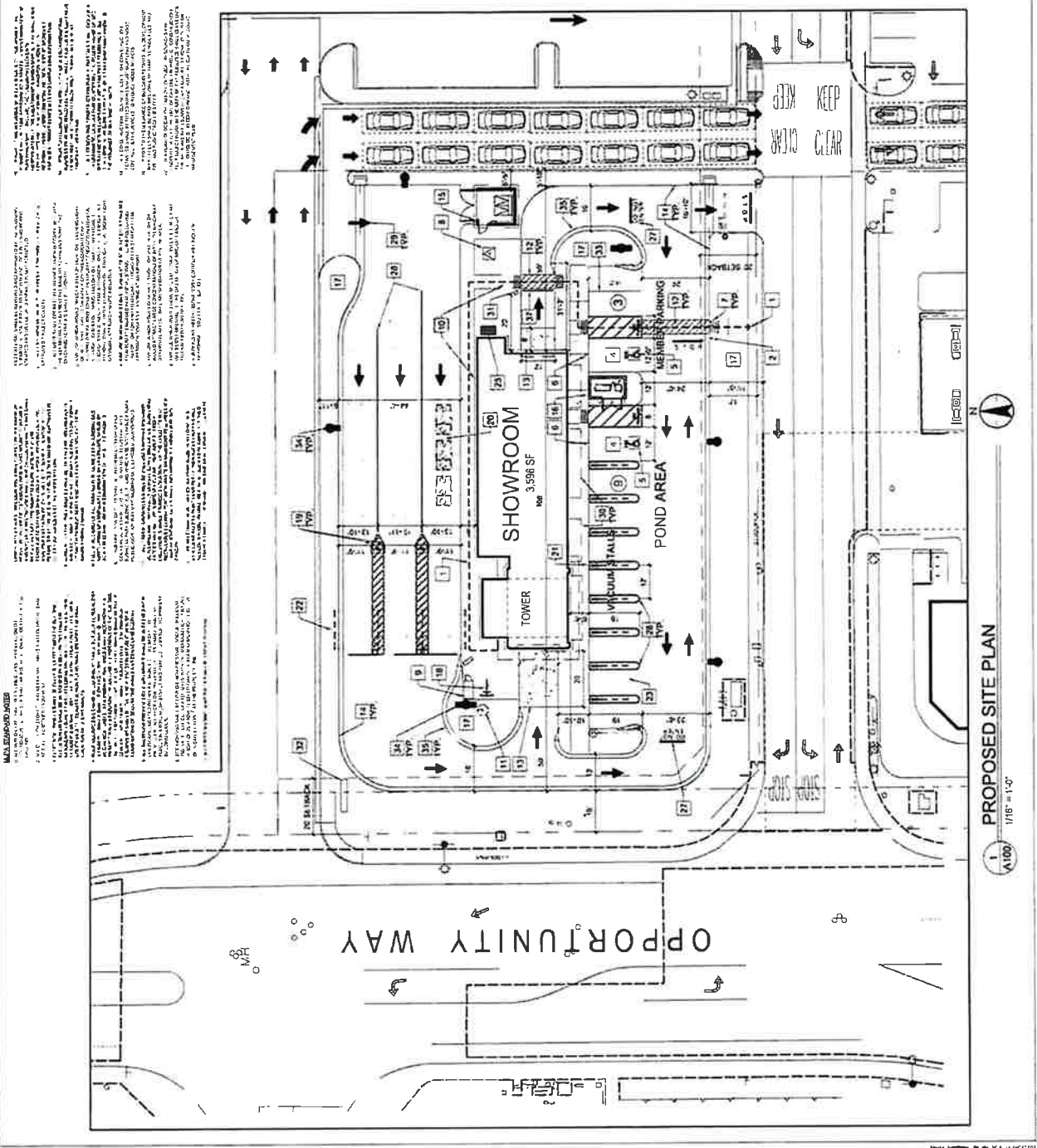
- 1. PROPOSED BUILDING FOOTPRINT
- 2. PROPOSED DRIVEWAYS
- 3. PROPOSED SIDEWALKS
- 4. PROPOSED LANDSCAPE
- 5. PROPOSED UTILITIES
- 6. PROPOSED EROSION CONTROL
- 7. PROPOSED LIGHT FIXTURES
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- 60. PROPOSED EROSION CONTROL
- 61. PROPOSED LIGHT FIXTURES
- 62. PROPOSED SIGNAGE
- 63. PROPOSED TREES
- 64. PROPOSED FENCES
- 65. PROPOSED DRIVEWAY
- 66. PROPOSED SIDEWALK
- 67. PROPOSED LANDSCAPE
- 68. PROPOSED UTILITIES
- 69. PROPOSED EROSION CONTROL
- 70. PROPOSED LIGHT FIXTURES
- 71. PROPOSED SIGNAGE
- 72. PROPOSED TREES
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- 84. PROPOSED SIDEWALK
- 85. PROPOSED LANDSCAPE
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- 88. PROPOSED LIGHT FIXTURES
- 89. PROPOSED SIGNAGE
- 90. PROPOSED TREES
- 91. PROPOSED FENCES
- 92. PROPOSED DRIVEWAY
- 93. PROPOSED SIDEWALK
- 94. PROPOSED LANDSCAPE
- 95. PROPOSED UTILITIES
- 96. PROPOSED EROSION CONTROL
- 97. PROPOSED LIGHT FIXTURES
- 98. PROPOSED SIGNAGE
- 99. PROPOSED TREES
- 100. PROPOSED FENCES

PLAN PREPARER
 STANTEC ARCHITECTURE, INC.
 11000 VAN BUREN BLVD, SUITE 200
 RIVERSIDE, CA 92504
 TEL: 951.509.1100
 FAX: 951.509.1101
 WWW.STANTEC.COM

BUILDING INFORMATION
 PROJECT NAME: QUICK QUACK CARWASH
 PROJECT NO.: 19-0001
 SITE NO.: 19-0001
 DATE: 10/15/2019
 DRAWN BY: MM
 CHECKED BY: MM
 APPROVED BY: MM
 PROJECT LOCATION: OPPORTUNITY WAY + VAN BUREN BLVD, RIVERSIDE, CA
 PROJECT TYPE: CARWASH
 BUILDING TYPE: INDUSTRIAL
 BUILDING AREA: 10,000 SF
 BUILDING HEIGHT: 10 FT
 CONSTRUCTION: CONCRETE
 CONSTRUCTION VALUE: \$5,000,000

PARKING ANALYSIS

TYPE	NUMBER OF SPACES
TOTAL	100
REQUIRED	100
AVAILABLE	100
DEFICIT	0



PROPOSED SITE PLAN
 1/8" = 1'-0"

ATTACHMENT 4

**Car Wash Use – Commercial Zoning District
Meridian Specific Plan (SP-5, A5) Area
Substantial Conformance Determination 23-01**

**Traffic Consistency Memorandum
December 17, 2021**



MEMORANDUM

To: Adam Corral, Greens Group Inc.
From: Tim Chan, P.E.
Date: December 17, 2021
Subject: Meridian Unit 4, Lot 4 Traffic Consistency Update

Kimley-Horn has prepared this letter to provide an assessment of the proposed Unit 4, Lot 4 development's consistency with applicable traffic planning documents. In accordance with Meridian Specific Plan Amendment (SPA) Mitigation Monitoring and Reporting Program¹ Measure B-3, traffic volumes should be monitored periodically to assure that the transportation infrastructure provides sufficient capacity.

The southern portion of Unit 4, Lot 4 (U4-4) has completed development of retail components including fast-food, coffee/donut shop, quality restaurant, a gas station, a motel, and general retail space. The proposed project modifies the previously approved site plan to include an assortment of retail, restaurant, and commercial uses on the northern portion of the site. This northern portion is currently vacant. A site plan is provided as an attachment. U4-4 falls within Planning Region C, Planning Area 7 of the Meridian SPA, and is zoned as Commercial. The proposed development would be consistent with allowed uses in its zoning.

The proposed project site plan includes a new driveway on Opportunity Way at Sysco Way, which is currently a three-legged unsignalized intersection. The driveway would provide full access to the site.

A traffic study update was prepared in August 2013 for the Meridian Business Park² that concluded current traffic volumes are below the approved trip generation rate and no changes to the traffic analysis for the undeveloped and unoccupied lots have been identified. Thus, no update to the traffic study prepared for the Meridian SPA was required.

As another method of monitoring traffic volumes, a log is kept with each new development to ensure trip estimates stay within the allocated trip thresholds for each Planning Region and

¹ Meridian Specific Plan Amendment (SP-5) Final Subsequent Environmental Impact Report, July 2010, Volume 1, Table XI-1

² Letter Memorandum dated August 12, 2013, from Kimley-Horn and Associates, Re: Meridian Business Park Traffic Study Update

Planning Area within the Meridian SPA. The current status of the traffic monitoring spreadsheet is provided as an attachment. As shown in the traffic monitoring spreadsheet, Planning Region C, Area 7 was allocated 16,164 external average daily trips (ADT). The Purchase Sale Agreement (PSA) for U4-4 allows for up to 9,468 external ADT. The PSA trip allocation was developed after analysis to confirm that the remaining three lots in the planning area would have adequate external trip allowance remaining for a reasonable development to occur. Within this planning area, all lots have been approved for development (Unit 4, Lots 3, 5, 6, and 7; and Lot 4 previously). Therefore, the allowed trips under the PSA accurately represents consistency with the planning area thresholds.

A trip generation analysis has been prepared for the proposed U4-4 site to determine the daily passenger car trips. Trip generation for the proposed development was calculated in accordance with the Meridian SPA, which used the Institute of Transportation Engineers, Trip Generation Manual, 8th Edition (ITE, 2008) and the Fontana Truck Trip Generation Study (2003). There have been more recent versions of the ITE Trip Generation Manual released since preparation of the Meridian SPA. A comparison of current trip generation rates for the uses associated with the proposed project is shown in **Table 1** below.

Table 1. Trip Generation Rate Comparison

Land Use Category	Meridian SPA Trip Rate (ITE 8 th Edition)	Current Trip Rate (ITE 11 th Edition)
Motel	5.63 per rm	3.35 per rm
Specialty Retail Center ¹	44.32 per ksf	44.32 per ksf
Coffee/Donut Shop with Drive-through	818.58 per ksf	533.57 per ksf
Quality Restaurant ²	89.95 per ksf	83.84 per ksf
High-Turnover (Sit-down) Restaurant	127.15 per ksf	107.20 per ksf
Gasoline Station with Convenience Market and Car Wash ³	152.84 per fueling position	257.13 per fueling position
Fast-Food Restaurant with Drive-through	496.12 per ksf	467.48 per ksf

Note:

1. Specialty Retail Center is not included in the ITE 11th Edition; ITE 9th Edition is used for evaluation and comparison to remain consistent with original SPA assumptions.
2. Quality Restaurant has been renamed to Fine Dining Restaurant in ITE 11th Edition
3. Gasoline Station with Convenience Market and Car Wash land use has been modified in the ITE 11th Edition based on square footage of the convenience store. For this site, the convenience store is assumed to be in the 4-5.5k square-foot category. This new land use in the 11th Edition is the Convenience Store/Gas Station (LU 945).

The rates stayed the same or reduced with the updated trip generation manual projections except for the gasoline station with convenience market. A comparison between the Meridian SPA rates and current trip generation rates shows that, overall, the Meridian SPA are more conservative and were therefore carried forward into this consistency evaluation. The trip generation calculations for both rates are included as Attachments to this letter.

The Meridian SPA did not account for pass-by trips to the commercial site as the details of the site were not available at the time. The proposed project includes fast-food restaurant, coffee-shop with drive-through, and gas station uses that typically experience significant pass-by trips. For instance, the Institute of Transportation Engineers Trip Generation Handbook, 3rd Edition indicates a pass-by rate of 62% for a gasoline/service station with convenience market during the morning peak hour, and a 56% pass-by rate during the evening peak hour. Similarly, a fast-food restaurant with drive-through window is anticipated to have a pass-by rate of 49% and 50% for the morning and evening peak hours, respectively. Nevertheless, based on City of Riverside and County of Riverside guidelines, a maximum 25% pass-by reduction to the external trip generation for these uses is allowed. Pass-by patterns for vehicles traveling on Van Buren Boulevard and destined for locations within the Meridian SPA would be part of the Meridian SPA calculations (internal capture) and no additional credits would be taken. However, a 10% to 25% pass-by trip reduction was applied to account for vehicles traveling on Van Buren Boulevard that are not associated with Meridian SPA traffic. This reduction was applied to coffee/donut shops, fast-food restaurant, high turn-over restaurant, and gas station uses only, and is documented in the attached trip generation table.

As discussed on page IV-57 of the SEIR, other land uses within the overall Meridian development are expected to “capture” 13 percent of daily passenger car trips. This internal capture was applied to the trip generation after pass-by trips were accounted for.

With the pass-by rates and 13% internal capture rates applied, U4-4 is expected to generate a total of 9,036 new external ADT. A comparison of the external ADT for the proposed retail development with the PSA allowance is displayed on **Table 2**.

Table 2. Proposed Site Consistency Evaluation

	External ADT
Purchase Sale Agreement Allowance	9,468
Proposed Site Change (north portion)	
<ul style="list-style-type: none"> • Motel: 77,000 sf (94 room) • High-Turnover Restaurant: 5,000 sf • High-Turnover Restaurant: 4,070 sf • High-Turnover Restaurant: 6,000 sf • Specialty Retail Center: 2,000 sf • Fast-Food Restaurant w/ D. T.: 2,500 sf 	
Previously Approved Site – No Change (south portion)	9,036
<ul style="list-style-type: none"> • Motel: 81,723 sf (157 room) • Coffee/ Donut Shop w/ D. T.: 2,200 sf • Specialty Retail Center: 5,300 sf • Gasoline Station w/ Convenience Market and Car Wash (16 fueling stations): 3,600 sf • High-Turnover Restaurant: 3,800 sf • Fast-Food Restaurant w/ D. T.: 3,880 sf • Fast-Food Restaurant w/ D. T.: 2,500 sf 	

In conclusion, the proposed development is considered consistent with the traffic planning documents and mitigation measures identified in the Meridian SPA SEIR.

This finding of consistency is also applicable to evaluations related to vehicle miles travelled (VMT). The project does not change the original vision of the site within the overall Specific Plan that was approved. Additionally, the proposed land uses are predominately local-serving retail uses, which do not increase VMT. The project would not significantly change VMT in the region and would be considered to have a less than significant effect.

Significant changes to the site plan or land uses that are not consistent with the assumptions evaluated in this memorandum should be required to prepare an updated traffic consistency memorandum to check the site remains consistent with its PSA and planning area thresholds.

Please feel free to contact me if you have any questions.

Sincerely,



Tim Chan, P.E.

Attachments:

- Meridian SPA Land Use Plan
- Proposed Site Plan
- Trip Generation Calculations (Meridian SPA / ITE 11th Generation Trip Rates)
- Meridian SPA Traffic Monitoring Spreadsheet (Existing)
- Meridian SPA Traffic Monitoring Spreadsheet (With Project)
- Excerpt from Appendix G of the Traffic Impact Study for the Meridian SPA

Meridian Specific Plan Amendment - Subsequent EIR

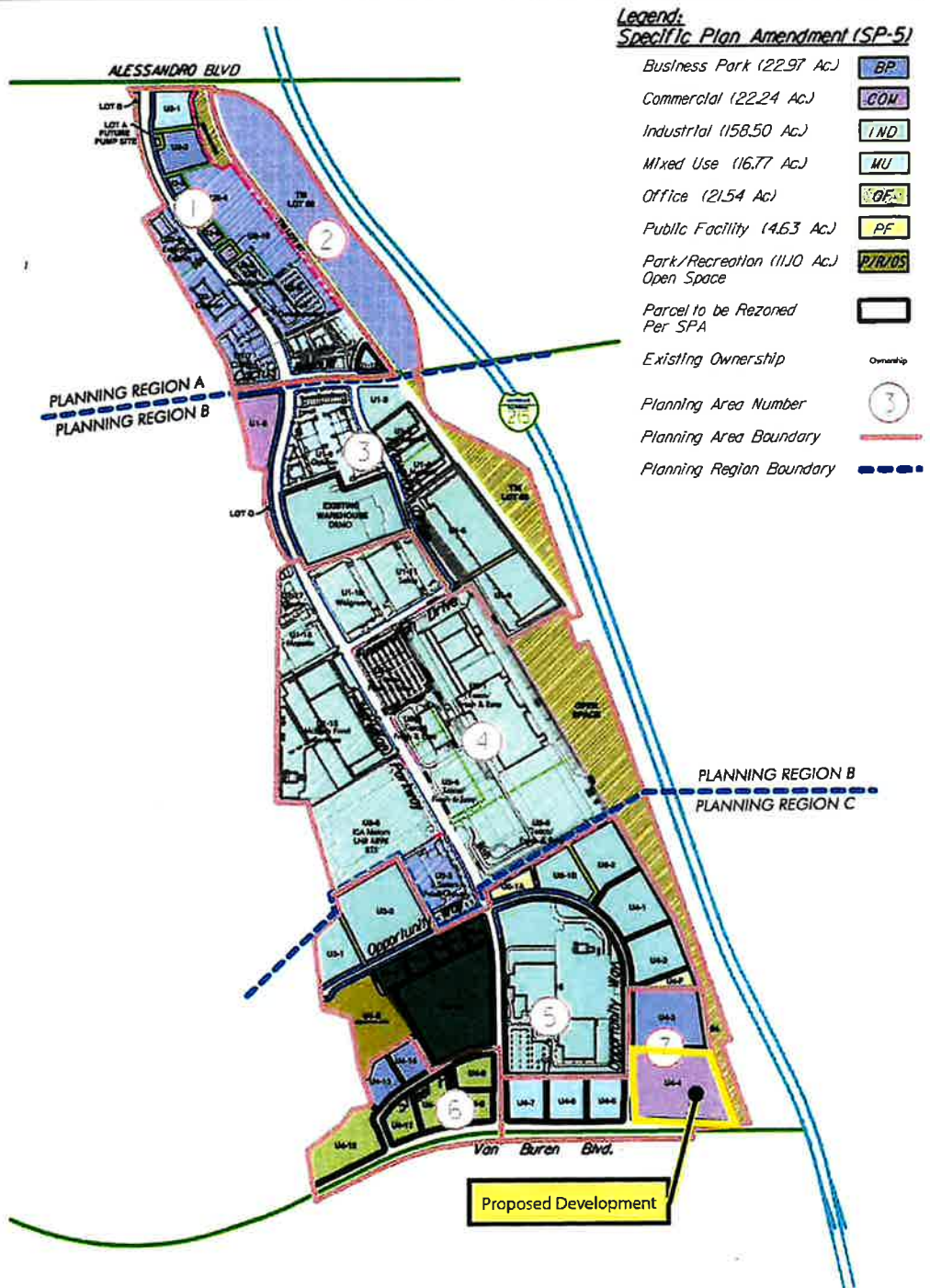


Figure 1

LOT AND PROPERTY OWNER

PROJECT DATA

PROJECT DESCRIPTION
 SUBMISSION FOR THE INITIAL CONFIRMATION OF A 16.51-ACRE 16.51-ACRE PLANTING 16-02. THE PROPOSED PROJECT INCLUDES A RETAIL CENTER WITH TWO STORY HIGH-RISE THREE RETAIL BUILDING, THREE RESTAURANTS, TWO FAST FOOD, ONE PICK-UP WINDOW, A DRIVE-THRU RESTAURANT, STORE WITH GAS, AND THE PROJECT WILL BE BUILT IN PHASES AS SHOWN IN THE SITE PLAN.

PROJECT ADDRESS

VAN BUREN BLVD. AND OPPORTUNITY WAY
 VAN BUREN BLVD. AND OPPORTUNITY WAY
 14.41 AC. (62/699.6051)

PARCEL AREA:

GREENS INV II, LLC
 8815 RESEARCH DRIVE
 IRVINE, CA 92618
 949 829 4900

APPLICANT:

CONTACT ATMAN KADAKIA
 GREENS INV II, LLC
 8815 RESEARCH DRIVE
 IRVINE, CA 92618
 949 829 4900

APPLICANT'S REPRESENTATIVE:

AO ARCHITECTURE
 104 NORTH ORANGE STREET
 ORANGE, CA 92666
 714 639 9860
 CONTACT SARKIS SALUDO
 714 639 9860

ADN:

494-U-0-044, 045, 046, 047, 048, 049, 050

LEGAL DESCRIPTION:

FOR LOT 4, TRACT MAP 30857-4;
 COMMERCIAL
 COUNTY OF TRAVIS
 STATE OF CALIFORNIA

ZONING:

COMMERCIAL

OCCUPANCY:

HOTEL GROUP A2 & R1
 FOOD GROUP A2
 BUSINESS GROUP B
 GAS & RETAIL GROUP M
 VA OR VB

CONSTRUCTION TYPE:

62/699 SF (14.41 ACES)

TOTAL GROSS SITE AREA:

204,300 SF

MAX ALLOWABLE FAR:

35%

SITE FAR:

37.3%

AREA & PARKING SUMMARY:

BUILDING #	AREA (SF)	USE	PARKING RATIO	NO. VEH. SPACE
BUILDING 1	81,881	BUSINESS HOTEL (137 RM)	1.32 PER RM	106
BUILDING 2	77,000	BUSINESS HOTEL (84 RETS)	1.32 PER RM	117
BUILDING 3	3,000	RESTAURANT	8/1000	24
BUILDING 4	2,300	FAST FOOD - STARBUCKS	8/1000	17
BUILDING 5	3,300	FAST FOOD - STARBUCKS	8/1000	26
BUILDING 6	3,100	RESTAURANT	3.5/1000	10
BUILDING 7	3,100	RESTAURANT	3.5/1000	10
BUILDING 8	4,300	FAST FOOD - CHICKEN	8/1000	31
BUILDING 9	4,000	FAST FOOD - CHICKEN	8/1000	28
BUILDING 10	4,070	RESTAURANT	8/1000	32
BUILDING 11	2,000	RESTAURANT	8/1000	24
BUILDING 12	2,500	FAST FOOD W/ DRIVE THRU	3.5/1000	9
TOTAL	207,438		TOTAL REQUIRED	318

TOTAL PARKING: 318
REQUIRED: 318
PROVIDED: 703

NET SITE AREA: 204,300 SF
NET SITE AREA PER BUILDING: 300
NET SITE AREA PER 1000 SF OF TOTAL VEH. SPACE: 204
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AVAILABILITY OF VEH. SPACE: 703
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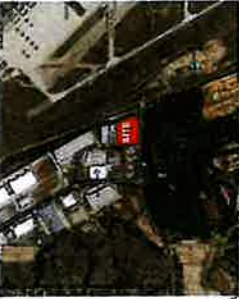
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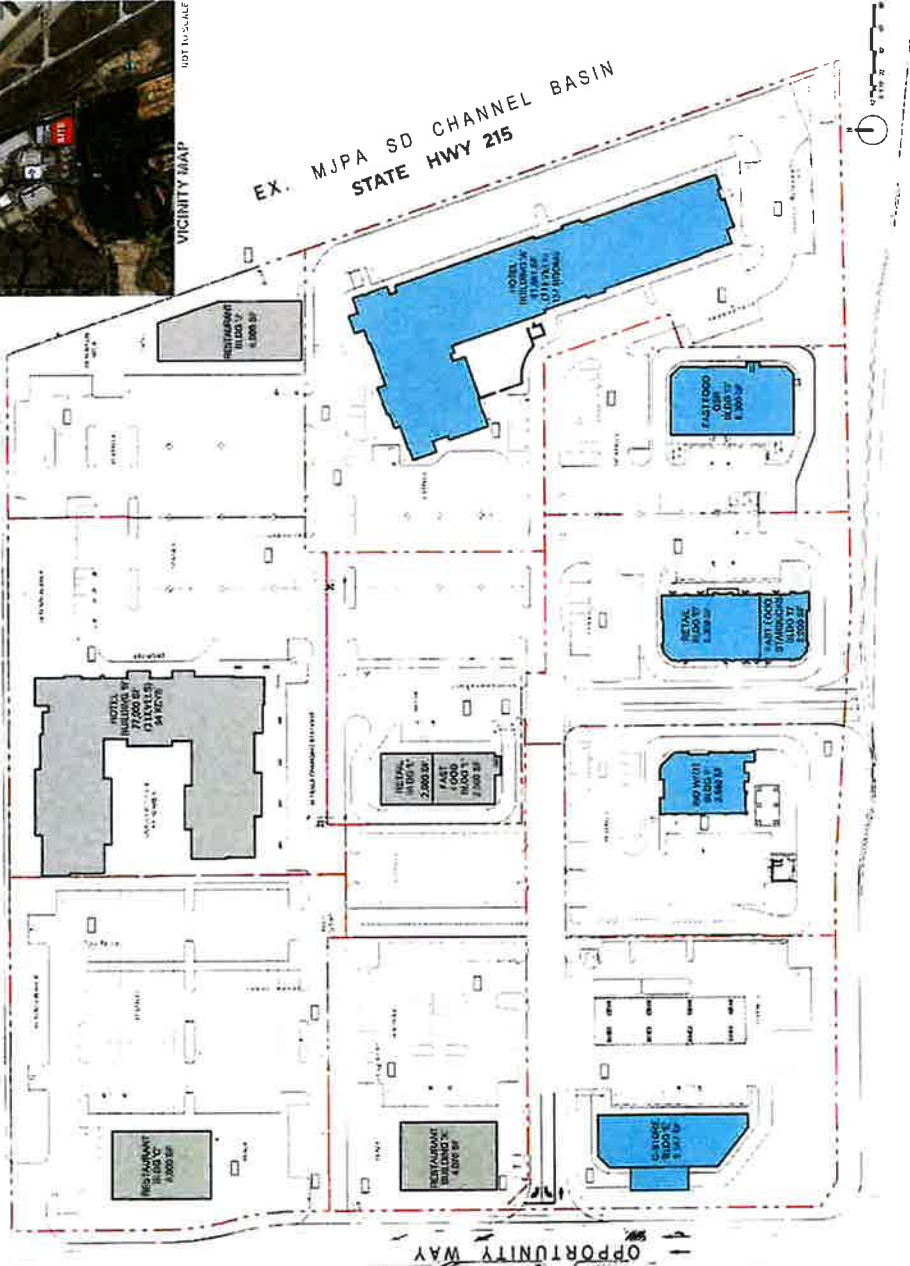
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VICINITY MAP

EX. MJPA SD CHANNEL BASIN
 STATE HWY 215



VAN BUREN BLVD.

UTILITY PURVEYORS:

- WATER: WESTERN MUNICIPAL WATER DISTRICT (951-789-5000)
- SEWER: WESTERN MUNICIPAL WATER DISTRICT (951-789-5000)
- GAS: SOUTHERN CALIFORNIA GAS COMPANY (909-445-7828)
- ELECTRIC: SOUTHERN CALIFORNIA EDISON (800-990-7788)
- TELEPHONE: FRONTIER COMMUNICATIONS (800-584-3384)

LANDSCAPE SETBACKS:

- FRONT YARD (VAN BUREN BLVD): 20 FT
- SIDE YARD STREET: 15 FT
- INTERIOR SIDE YARD: 5 FT
- REAR YARD: 10 FT

PROJECT PHASING:

- PHASE 1 (Blue)
- PHASE 2 (Grey)

SITE PLAN KEYNOTES:

- INDICATES PHASING
- PHASE 1 & 2 ARE INDICATED BY PHASE COLOR
- PHASE 1 BUILDINGS ARE PHASE 1 AND PHASE 2 BUILDINGS ARE PHASE 2
- PHASE 1 OCCUPANCY: BUSINESS GROUP B, GAS & RETAIL GROUP M, VA OR VB
- PHASE 2 OCCUPANCY: BUSINESS GROUP B, GAS & RETAIL GROUP M, VA OR VB
- PHASE 1 & 2 ARE INDICATED BY PHASE COLOR
- PHASE 1 BUILDINGS ARE PHASE 1 AND PHASE 2 BUILDINGS ARE PHASE 2
- PHASE 1 OCCUPANCY: BUSINESS GROUP B, GAS & RETAIL GROUP M, VA OR VB
- PHASE 2 OCCUPANCY: BUSINESS GROUP B, GAS & RETAIL GROUP M, VA OR VB

GREENS VETERANS PLAZA March Joint Powers Authority

AO Architecture Design Relationships

01

Lot #	Gross Acreage	Land Use Grouping	Land Use Designation	FAR	Square Footage	Meridian SPA Trip Rate	ADT
4-4	14.41	Commercial	Motel (157 room)	12.6%	81,723	5.63	864
Building A (Constructed)		Commercial	Motel (94 room)	11.9%	77,000	5.63	529
Building B		Commercial	High-Turnover (Sit-down) Restaurant	0.8%	5,000	127.15	636
Building C		Commercial	Pass-by Trips (10%)				(64)
Building D (Constructed)		Commercial	Coffee/Donut Shop w/ D.T	0.3%	2,200	818.58	1,801
		Commercial	Pass-by Trips (25%)				(450)
Building E (Constructed)		Commercial	Specialty Retail Center	0.8%	5,300	44.32	235
		Commercial	Gasoline Station w/ Convenience Market and Car Wash (16 fueling stations)	0.7%	4,500	152.84	2,445
Building F (Constructed)		Commercial	Pass-by Trips (25%)				(611)
		Commercial	Fast-Food Restaurant w/ D.T	0.6%	3,680	496.12	1,925
Building G (Constructed)		Commercial	Pass-by Trips (25%)				(481)
		Commercial	Fast-Food Restaurant w/ D.T	0.4%	2,500	496.12	1,240
		Commercial	Pass-by Trips (25%)				(310)
Building H (Constructed)		Commercial	High-Turnover (Sit-down) Restaurant	0.6%	3,800	127.15	483
		Commercial	Pass-by Trips (10%)				(48)
Building I (Constructed)		Commercial	High-Turnover (Sit-down) Restaurant	0.9%	6,000	127.15	763
Building J		Commercial	Pass-by Trips (10%)				(76)
Building K		Commercial	High-Turnover (Sit-down) Restaurant	0.6%	4,070	127.15	518
		Commercial	Pass-by Trips (10%)				(52)
Building L		Commercial	Specialty Retail Center	0.3%	2,000	44.32	89
		Commercial	Fast-Food Restaurant w/ D.T	0.4%	2,500	496.12	1,240
			Pass-by Trips (25%)				(310)
Total Trips Generated					200,473		12,788
Total Pass-by Trips							(2,402)
Total New Site Trips							10,386
North Campus Internal Capture (13%)							(1,350)
Total New External Trips							9,036
Purchase Sale Agreement Allowance							
Within Allowance?							
							9,468
							YES

Lot #	Gross Acreage	Land Use Grouping	Land Use Designation	FAR	Square Footage	ITE 11th Gen Trip Rate	ADT
4-4	14.41	Commercial	Motel (157 room)	12.6%	81,723	3.35	526
Building A (Constructed)		Commercial	Motel (94 room)	11.9%	77,000	3.35	315
Building B		Commercial	High-Turnover (Sit-down) Restaurant	0.8%	5,000	107.2	536
Building C		Commercial	Pass-by Trips (10%)				(54)
Building D (Constructed)		Commercial	Coffee/Donut Shop w/ D.T	0.3%	2,200	533.57	1,174
		Commercial	Pass-by Trips (25%)				(294)
Building E (Constructed)		Commercial	Specialty Retail Center	0.8%	5,300	44.32	235
		Commercial	Gasoline Station w/ Convenience Market and Car Wash (16 fueling stations)	0.7%	4,500	257.13	4,114
Building F (Constructed)		Commercial	Pass-by Trips (25%)				(1,029)
		Commercial	Fast-Food Restaurant w/ D.T	0.6%	3,880	467.48	1,814
Building G (Constructed)		Commercial	Pass-by Trips (25%)				(454)
		Commercial	Fast-Food Restaurant w/ D.T	0.4%	2,500	467.48	1,169
Building H (Constructed)		Commercial	Pass-by Trips (25%)				(292)
		Commercial	High-Turnover (Sit-down) Restaurant	0.6%	3,800	107.2	407
Building I (Constructed)		Commercial	Pass-by Trips (10%)				(41)
		Commercial	High-Turnover (Sit-down) Restaurant	0.9%	6,000	107.2	643
Building J		Commercial	Pass-by Trips (10%)				(64)
Building K		Commercial	High-Turnover (Sit-down) Restaurant	0.6%	4,070	107.2	436
Building L		Commercial	Pass-by Trips (10%)				(44)
		Commercial	Specialty Retail Center	0.3%	2,000	44.32	89
		Commercial	Fast-Food Restaurant w/ D.T	0.4%	2,500	467.48	1,169
		Commercial	Pass-by Trips (25%)				(292)
Total Trips Generated					200,473		12,627
Total Pass-by Trips							(2,564)
Total New Site Trips							10,063
North Campus Internal Capture (13%)							(1,308)
Total New External Trips							8,755
Purchase Sale Agreement Allowance							9,468
Within Allowance?							YES

*Meridian SPA Traffic Monitoring Spreadsheet
Existing*

Planning Area	Lot	Land Use Designation	User	External ADT	Truck Trips	Notes
<i>Planning Region A</i>						
1	U1-19	MU				
	U2-1	MU		317	127*	*converted truck trips to PCEs 50,576 sf general light industrial, 92,657 sf business park & 14,280 sf general office building
	U2-2	BP				
	U2-3	BP		1529	0	
	U2-9	COM				
U2-10	COM					
Calculated Trip Generation:				1,846	-	
Planning Area Allowance:				7,333	-	
Remaining Trips:				5,487	-	
<i>Planning Region B</i>						
3	U1-5	IND	New Castle	1914	432	Combined with U1-5
	U1-6	IND	New Castle	--	--	
	U1-8	COM				
	DRMO	IND		704	404	Classified as Truck Terminal
Calculated Trip Generation:				2,618	836	
Planning Area Allowance:				8,303	1,836	
Remaining Trips:				5,685	1,000	
<i>Planning Region C</i>						
5	U3-1	IND			65	71,000 sf warehouse
	U3-2	IND		937	189	262,260 sf warehouse
	U3-4	IND		--	--	Combined with U4-15
	U3-5	IND		--	--	Combined with U4-15
	U3-6	IND		--	--	Combined with U4-15
	U3-7	IND		--	--	Combined with U4-15
	U3-8	IND		--	--	Combined with U4-15
	U4-15	IND		1,551	350	486,000 sf warehouse
	U6-1A	PF				
	U6-1B	IND		--	--	Combined with U4-2
	U6-2	IND		--	--	Combined with U4-2
	U4-1	IND		--	--	Combined with U4-2
	U4-2	IND		1,627	367	510,000 sf warehouse
	Lot 16	IND	Sysco	1,644	371	315,223 sf warehouse
Calculated Trip Generation:				5,947	1,342	
Planning Area Allowance:				6,080	1,760	
Remaining Trips:				133	418	
6	U4-8	OF		5713		32,628 sf office, 6,584 sf retail; 5,937 sf restaurant/café; & 116,892 sf business park
	U4-9	OF				
	U4-10	OF		60	30*	
	U4-11	OF				Reserved 88,000 sf Office
	U4-12	OF		1,051	0	
	U4-13	BP				
U4-14	BP					
Calculated Trip Generation:				6,824	-	
Planning Area Allowance:				7,539	294	
Remaining Trips:				715	294	
7	U4-3	BP		542		192,468 sf business park
	U4-4	COM		1,043	401*	*converted truck trips to PCEs
	U4-5	MU				
	U4-6	MU		3,886		167,960 sf warehouse & 8,000 sf retail
	U4-7	MU		1,053	422*	*converted truck trips to PCEs
Calculated Trip Generation:				6,524	-	
Planning Area Allowance:				16,164	-	
Remaining Trips:				9,640	-	
GRAND TOTAL, ALL PLANNING AREAS						
Calculated Trip Generation:				21,346	3,128	*Truck trips from U2-1, U4-3, and U4-5/6/7 are included in Grand Total for Truck Trips
Planning Area Allowance:				45,419	3,890	
Remaining Trips:				24,073	762	

*Meridian SPA Traffic Monitoring Spreadsheet
With Proposed Unit 4 Lot 4*

Planning Area	Lot	Land Use Designation	User	External ADT	Truck Trips	Notes
<i>Planning Region A</i>						
1	U1-19	MU				
	U2-1	MU		317	127*	*converted truck trips to PCEs
	U2-2	BP				
	U2-3	BP		1529	0	50,576 sf general light industrial, 92,657 sf business park & 14,280 sf general office building
	U2-9	COM				
	U2-10	COM				
Calculated Trip Generation:				1,846	-	
Planning Area Allowance:				7,333	-	
Remaining Trips:				5,487	-	
<i>Planning Region B</i>						
3	U1-5	IND	New Castle	1914	432	
	U1-6	IND	New Castle	--	--	Combined with U1-5
	U1-8	COM				
	DRMO	IND		704	404	Classified as Truck Terminal
Calculated Trip Generation:				2,618	836	
Planning Area Allowance:				8,303	1,836	
Remaining Trips:				5,685	1,000	
<i>Planning Region C</i>						
5	U3-1	IND		288	65	90,000 sf warehouse
	U3-2	IND		837	189	262,260 sf warehouse
	U3-4	IND		--	--	Combined with U4-15
	U3-5	IND		--	--	Combined with U4-15
	U3-6	IND		--	--	Combined with U4-15
	U3-7	IND		--	--	Combined with U4-15
	U3-8	IND		--	--	Combined with U4-15
	U4-15	IND		1551	350	486,000 sf warehouse
	U6-1A	PF				
	U6-1B	IND		--	--	Combined with U4-2
	U6-2	IND		--	--	Combined with U4-2
	U4-1	IND		--	--	Combined with U4-2
	U4-2	IND		1627	367	510,000 sf warehouse
	Lot 16	IND	Sysco	1644	371	515,223 sf warehouse
Calculated Trip Generation:				5,947	1,342	
Planning Area Allowance:				6,080	1,760	
Remaining Trips:				133	418	
6	U4-8	OF		5713		32,628 sf office, 6,584 sf retail; 5,937 sf restaurant/café, & 116,892 sf business park
	U4-9	OF				
	U4-10	OF		60	30*	
	U4-11	OF				
	U4-12	OF		1051	0	Reserved 88,000 sf Office
	U4-13	BP				
	U4-14	BP				
Calculated Trip Generation:				6,824	-	
Planning Area Allowance:				7,539	294	
Remaining Trips:				715	294	
7	U4-3	BP		542		192,468 sf business park
				1043	401*	*converted truck trips to PCEs
	U4-4	COM		9036	0	Retail - variety
	U4-5	MU		3886		162,660 sf warehouse & 8,000 sf retail
	U4-6	MU				
	U4-7	MU		1053	422*	*converted truck trips to PCEs
Calculated Trip Generation:				15,560	-	
Planning Area Allowance:				16,164	-	
Remaining Trips:				604	-	
GRAND TOTAL, ALL PLANNING AREAS						
Calculated Trip Generation:				30,382	3,577	*Truck trips from U2-1, U4-3, U4-4/5/6/7, and U4-8/9/10/11 are included in Grand Total for Truck Trips
Planning Area Allowance:				45,419	3,890	
Remaining Trips:				15,037	313	

ATTACHMENT 5

**Car Wash Use – Commercial Zoning District
Meridian Specific Plan (SP-5, A5) Area
Substantial Conformance Determination 23-01**

**Notice of Exemption
Substantial Conformance Determination 23-01**



MARCH JOINT POWERS AUTHORITY


14205 Meridian Parkway, Suite 140 | Riverside, CA | 92518
 (951) 656-7000 | FAX (951) 653-5558 | WEBSITE: www.marchjpa.com | E-MAIL: info@marchjpa.com

NOTICE OF EXEMPTION

TO: <input type="checkbox"/> Office of Planning and Research P. O. Box 304 Sacramento, CA 95812-3044 <input type="checkbox"/> Clerk of the Board of Supervisors Or <input checked="" type="checkbox"/> County Clerk: County of: Riverside County Clerk's Office 2720 Gateway Drive Riverside, CA 92502-0751	FROM: Public Agency/Lead Agency: March Joint Powers Authority 14205 Meridian Parkway, Suite 140 Riverside, CA 92518 Contact: Jeffrey M. Smith, AICP Phone: 951 656-7000
---	---

1. Project Title:	Substantial Conformance Determination for a Car Wash Use Within the Commercial Zoning District in the Meridian Specific Plan (SP-5, A5) Area
2. Project Applicant:	Greens Group, Greens Inv. 11, LLC
3. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15' or 7 1/2' topographical map identified by quadrangle name):	The Commercial Zoning District is located within the southeastern portion of the North Campus of the Meridian Specific Plan Area, specifically on the northeast corner of Van Buren Boulevard and Opportunity Way. The Commercial Zoning District is bounded by a Business Park Zoning District to the north; the MIPA controlled south detention basin (Parks/Recreation/Open Space Zoning District) to the east, Van Buren Boulevard to the south, and Opportunity Way to the west, in the County of Riverside, City of Riverside, CA.
4. (a) Project Location – City:	Riverside
(b) Project Location – County:	Riverside
5. Description of nature, purpose, and beneficiaries of Project:	The Applicant has requested a use interpretation is due to a specific use, an express car wash, which seeks to develop on the site area immediately north of the existing Gas Station/Convenience Store, within the Commercial Zoning District, Meridian Specific Plan (SP-5, A5) Area, located at the northeast corner of Opportunity Way and Van Buren Boulevard.
7. Name of Public Agency approving project:	March Joint Powers Authority
8. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the	Greens Group, Greens Inv. 11, LLC

Public Agency as part of the activity:		
9. Exempt status: (check one)		
(a)	<input type="checkbox"/>	Ministerial project. (Pub. Res. Code § 21080(b)(1); State CEQA Guidelines § 15268)
(b)	<input checked="" type="checkbox"/>	Not a project.
(c)	<input type="checkbox"/>	Emergency Project. (Pub. Res. Code § 21080(b)(4); State CEQA Guidelines § 15269(b),(c))
(d)	<input type="checkbox"/>	Categorical Exemption. State type and class number:
(e)	<input type="checkbox"/>	Declared Emergency.
(f)	<input type="checkbox"/>	Statutory Exemption. State Code section number:
(g)	<input type="checkbox"/>	Other. Explanation:
10. Reason why project was exempt:	<p>Findings - Under State CEQA Guidelines Section 15061 (b)(3): Under State CEQA Guidelines Section 15061. Review for Exemption, (b) A Project is exempt from CEQA if, (3), "The activity is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA."</p> <p>The Planning Director finds that the proposed modifications allow a Car Wash to proceed to the March Joint Powers Authority for review of a Plot Plan, Conditional Use Permit and Initial Study through a public hearing process. This determination does not prejudice the Joint Powers Commission, rather it simply allows the use to be treated as other similar uses and allows a full environmental review to occur when the proposal is ripe for environmental review. Pursuant to CEQA, staff will file a Notice of Exemption with the Riverside County Clerk's Office.</p>	
11. Lead Agency Contact Person:	Jeffrey M. Smith, AICP Principal Planner	
Telephone:	(951) 656-7000	
12.	If filed by applicant: Attach Preliminary Exemption Assessment (Form "A") before filing.	
13.	Has a Notice of Exemption been filed by the public agency approving the project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
14.	Was a public hearing held by the lead agency to consider the exemption? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	If yes, the date of the public hearing was: N/A	

Signature: 
Jeffrey M. Smith, AICP

Date: July 17, 2023 Title: Principal Planner

Signed by Lead Agency Signed by Applicant

Date Received for Filing: _____

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21100, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

MARCH JOINT POWERS COMMISSION
OF THE
MARCH INLAND PORT AIRPORT AUTHORITY

MIPAA Operations - Consent Calendar
Agenda Item No. 11 (1)

Meeting Date: September 11, 2024

Report: **UPDATE ON JPC ACTIONS, LEGISLATION, PROPERTY TRANSFERS, PLANNING ACTIVITIES AND STAFF ACTIVITIES**

Motion: Move to receive and file the report or take other actions as deemed appropriate by the Commission.

Background:

This report is an update of staff activities since the last March Joint Powers Commission of the March Inland Port Airport Authority (Commission) meeting. The report is not all-inclusive of staff work. It provides a summary of some activities relating to previous actions or direction by the Commission. **New information is noted in bold.**

March Inland Port

Airport Master Plan

Objective: Consider Infrastructure Improvements, Land Uses and Airport Development Plans

Status: On July 23, 2021, the Federal Aviation Administration (FAA) awarded March Inland Port Airport Authority (MIPAA) an \$856,115 FAA Airport Capital Improvement Plan (ACIP) entitlement grant. As a request by MIPAA in its ACIP, FAA grant funds were offered to conduct an Airport Master Plan (AMP) to include a Pavement Maintenance Plan (PMP). MIPAA has not engaged in the preparation of an AMP since its conception. MIPAA has engaged its consultant to conduct the PMP and AMP under this grant. The first coordination meeting was held on Thursday, November 11, 2021. MIPAA delivered a litany of requested documents to the consultant on October 21, 2021. The Team reviewed the schedule and action items. MIPAA and Consultant meet regularly and will provide the Commission regular updates throughout the planning process. In January, notification letters were distributed to stakeholders. The letter also requested stakeholders participate in the Project Advisory Committee (PAC). The first PAC meeting was held on March 9, 2022 at 1 pm (PST). The PAC meeting was the first of a series of meetings and provided stakeholders an overview as to the intent and process behind the MP efforts. Stakeholder input is integral to the development of the MP. Field work was complete in February which included “full area” GIS mapping and surveying of MARB. On February 15, 2022, the consultant began its pavement conditions surveys of MIPAA owned infrastructure. The pavement surveys and pavement testing efforts are related to updating MIPAA’s Pavement Maintenance and Management Program (PMMP). This effort is funded by the FAA in concert with the MP. MIPAA consultant staff are continuing airport inventory data collection efforts. The consultant has completed its drone flyover and obtained airfield topographical aerial

imagery. Staff and our consultants are preparing for a PAC meeting in October. Staff has expanded membership of the PAC to include new members from member jurisdictions in preparation of more detailed planning efforts. On September 4, 2022, the consultant provided the TAC an update on Master Plan progress and plans moving forward. Three elements of the draft FAA Master Plan have been distributed to staff internally for review. Comments for the initial submittals were provided to the contractor on the first three chapters on November 21, 2022. On November 29, 2022, the draft forecast was distributed to the FAA for review and approval. Approval is expected in 4-6 weeks. The PAC will reconvene in February 2023 to continue the next phase of comments on proposed master plan elements. Two Airport community meetings were held on September 7, 2023, and then again on January 31, 2024. On January 31, 2024, the PAC reconvened on updated Master Plan exhibits incorporating comments from MARB. The draft Master Plan document was available for public review and comment at: <https://marchjpa.com/airport-master-plan/>. Comments on the Master Plan were due by February 29, 2024.

Fuel Facility Expansion

Objective: Meet Current and future Demands for Jet-A Fuel Storage

Status: With realized growth of commercial aircraft activity, meeting JET-A fuel storage sufficient for existing demand has become increasingly problematic. Additional fuel storage tanks are required. Freeman Holdings of Riverside, LLC (FHR) operates and maintains the fuel facility. FHR also provides aircraft ground handling services to the airlines and general aviation airport users. Their services include fueling of all types of aircraft, ensuring fuel storage quantities meet demands, load and unload of aircraft, provide ground support equipment and personnel and other support services. In order to provide aviation services at March Inland Port (MIP), FHR entered into two property leases which include MIPAA's bulk storage fuel facility and portions of MIPAA's executive terminal. A draft MOU is being reviewed by the parties. Once MOU terms have been agreed upon, staff will brief the TAC and Commission.

Riverside Inland Development, LLC, VIP-215 Project

Objective: Private Development of Parcel D2 generating revenue and jobs

Status: On December 16, 2020 and January 13, 2021, the March JPA Commission considered and approved, a Certified Environmental Impact Report, General Plan Amendment, Specific Plan, Tentative Parcel Map, Development Agreements and Plot Plan for the Veterans Industrial Park 215 (VIP 215) Project. The 142.5-acre, VIP 215 Project site is located directly east of the I-215 Freeway off-ramp at Van Buren Boulevard, south of the existing March Field Air Museum, and west of the existing runways and facilities of the March Air Reserve Base and north of the boundary of the City of Perris, located within the boundaries of the March Inland Port Airport in unincorporated Riverside County, California. Specifically, the approved Plot Plan (PP 20-02) authorized the construction of a 2,022,364 square-foot industrial warehouse building (intensive ecommerce use), inclusive of 46,637 square-feet of ground floor office space and 13,506 square feet of second floor office space. The building has a maximum height of 54 feet. The project site includes 2,551 parking spaces for employees and visitors, 428 truck trailer parking stalls and 39 stalls for tractor cab parking. The building address is 25000 Van Buren Boulevard, Riverside, California, 92518. On May 26, 2021, the March JPA Commission considered and approved a Plot Plan Amendment and Tentative Parcel Map for the VIP 215 Project. Amended Plot Plan, reduced the size of the warehouse building by 155,416 sq. ft., to 1,866,948 sq. ft., reduced the number of vehicle parking spaces from 2,551 to 2,390, increased the number of truck trailer parking stalls from 428 truck trailer parking stalls to 1,000, the elimination of one driveway, along the extension of Van Buren Boulevard, and the addition of a Pedestrian Bridge, to allow for unrestricted truck movement through the most northern drive aisle (Driveway 1), and

pedestrian access, via the bridge from a staircase on either side of the drive aisle. The height of the bridge will be approximately 31.5 feet. March ARB, March JPA and Developer are working on obtaining the required approvals and easements for an Interim Drainage Outfall Facility to be constructed on March ARB, to support project off site and project on-site drainage until the Riverside County Perris Valley Lateral B Project, Stage 5, is completed. Supporting documentation has been prepared. Drafts of the Fair Market Value Survey and Easement Document are being prepared and should be completed by the end of December 2021. The Developer was issued a rough grading permit on September 16, 2021. Since then, there has been a considerable amount of grading, building pad development, trenching and installation of box culvert sections has occurred, and box drainage facility is currently under construction. A building permit was issued on December 1, 2021, and a precise grading permit was issued on December 2, 2021. Anticipated building completion in late 3rd or early 4th Quarter 2022. The concrete pours for the building foundation started on January 6, 2022, and will continue through to March 2022. Nighttime / early morning pours and lighting are being coordinated with the March JPA and March ARB so that Base operations are not impacted. The Developer/Construction Team will provide updates to the concrete pour schedule every two weeks. Project drainage improvements are nearly complete with the exception of the final outfall structure construction at the exit onto base property. The Air Force easement document is being executed by Air Force Reserves Headquarters. An action item seeking approval to execute the easement is on this agenda for Commission consideration (*approved 2/23/2022*). Building exterior camera surveillance systems are under review by Air Force Security Forces. Staff is also working with the tenant, Hillwood and MARB on security related infrastructure being place on and around the project site to ensure the developer is meeting the security expectations of MARB. An easement between MJPA and WMWD is being developed for a specific utility property dedication of a portion of the Hillwood lease. WMWD and/or MWD will use the set-aside easement area for future water conveyance/monitoring equipment. This dedication was conditioned as part of the approval of the Project. The easement will be brought to the Commission for approval. MIPAA staff are coordinating efforts on behalf of Hillwood to effectively begin work on the drainage outfall structure. On April 19, 2022, MARB informed staff that easement documentation, has been forwarded to Air Force Reserve Headquarters for review and consideration. The draft easement was received on April 29, 2022 and is under legal review. The construction waiver and dig permit needed for the outfall construction have been approved by the base. On 8/10/22, the Commission approved Final map 37220 and approved a Subdivision Improvement Agreement. Staff was subsequently directed to file a notice of exemption pursuant to local CEQA guidelines. Western Municipal Water District's turnout easement has been executed at the southern portion of the project site for future District support infrastructure. On August 30, 2022, Air Force Reserve Command and Air Force Civil Engineering Command executed the drainage easement for the outfall structure. Construction of the drainage outfall facility onto base property began on October 4, 2022. This portion of the project is expected to be complete on December 9, 2022. Due to winter season rain events, construction is substantially completed with Temporary Certificate of Occupancy (TCO) discussions anticipated to begin first quarter of 2023.

Meridian Park, LLC D1 Aviation Gateway Project

Objective: Private Development of Parcel D1 supporting aviation facilities generating revenue and jobs

Status: On August 3, 2020, Meridian Park D-1, LLC (the “Applicant”), submitted a Plot Plan and Zone Change application to develop a gateway air freight cargo center, with one, approximately 201,200 square foot, industrial warehouse, and one, approximately 70,140 square foot, accessory maintenance building, on 84.06 acres. The Project site is located within the southeastern portion of the March Joint Powers Authority (March JPA) jurisdiction, within unincorporated Riverside County, California. More specifically, the Project site is located just south of the March Air Reserve Base (March ARB), west of Heacock Street, and southwest of the intersection of Heacock Street and Krameria Avenue, in Moreno Valley, California. Interstate 215 (I-215) is located approximately one mile west of the project site. The Project proposes to develop a gateway air freight cargo center, including the construction of an approximately 201,200 square foot industrial warehouse with 9 grade level loading doors and 42 dock positions and an approximately 70,140 square foot accessory maintenance building with grade level access. The proposed warehouse and maintenance facility development would consist of 56 gross acres (41 net acres), while the proposed taxiway and tarmac extensions would consist of 12 acres. The overall Project footprint to be analyzed includes 84.06 acres, as described above. The industrial warehouse would be constructed to a maximum height of 48 feet, and the maintenance building would be constructed to a maximum height of 46 feet. The Project would include construction of a parking apron sized to accommodate commercial cargo airplanes and would be paved to meet FAA standards. The existing taxiway would be used to access the March Inland Port Airport runway. The proposed expansion of the existing taxiway/tarmac would allow for improved access to the existing taxiway for the Project tenants and existing Airport users south of the Project site. Upon completion, the proposed Project is anticipated to average 17 flights a day. MJPA Planning Staff has routed the project plans and documents to MJPA Departments, March Air Reserve Base, member jurisdictions and agencies for review and comments. Staff has also initiated Tribal Consultation pursuant to AB 52. A Notice of Preparation / Notice of Scoping Meeting for a Draft Environmental Impact Report for the Meridian D1-Gateway Aviation Center Project was circulated on March 31, 2021 for public review/comment and ended April 29, 2021. The March JPA held a Public Scoping Meeting, via teleconference on April 14, 2021. Input was received from the general public and March Air Reserve Base staff. Since April 2021, ongoing discussions regarding the proposed project, CEQA and NEPA level environmental documentation has occurred between the Applicant, March JPA/MIPAA staff and March ARB staff. In late November 2021, the Applicant submitted NEPA Form 813 environmental documentation to the March JPA/March ARB for review and comment. The form/review is to help March ARB determine the level/type of NEPA environmental document to be prepared. Once this information is received, March JPA/Applicant will prepare an Admin Draft environmental document for review/comment. This should occur sometime during the first quarter 2022. The Project Applicant has revised the project description and proposed project decreasing the overall scope of the project to eliminate potential impact to the Superfund remediation site known as Site 007. The Project Applicant has updated NEPA Form 813 environmental documentation for March JPA/March ARB review and comment and Section 163 environmental documents required by the FAA. In addition, CEQA environmental documentation is also being updated. The revised Project Description/Project Site Plan was complete in February 2022. The participating Tribes have been notified of the change of the proposed project. Documents are under review by MARB, FAA and regulatory agencies. On May 16, 2022, the updated/revised Project Description/Project Plans/Documentation was transmitted to March JPA departments, member jurisdictions and other reviewing agencies. March JPA staff has asked for comments or conditions of approvals

by June 1, 2022. The updated Section 163 was sent to the FAA for review. Section 163 is an FAA preliminary project review that determines any federal action from the NEPA perspective. The FAA has made a determination that an Environmental Assessment (EA), in compliance with NEPA, is required for the proposed Project. The preparation of appropriate environmental documents pursuant to CEQA and NEPA are underway. The Meridian D1 Gateway Aviation Center Project Draft Environmental Impact Report (EIR) was circulated for public review on Thursday, May 23, 2024. The Draft EIR is available for review at: <https://marchjpa.com/meridian-d1-gateway-aviation-center-project/>. The public review period is for 45-days and will conclude on Tuesday, July 9, 2024. On June 18, and July 1, 2024, the March JPA hosted two Community Meetings on the Meridian D-1 Project. The public review period on the Draft EIR was extended, which concluded on Monday, July 22, 2024. The March JPA has received over 200 comments on the Meridian D-1 Draft EIR. **The development of responses to comments is in progress.**

Attachment(s): None.

MARCH JOINT POWERS COMMISSION
OF THE
MARCH INLAND PORT AIRPORT AUTHORITY

MIPAA Operations - Consent Calendar
Agenda Item No. 11 (2)

Meeting Date: September 11, 2024

Report: **RECEIVE AND FILE FINANCIAL STATUS REPORTS**

Motion: Move to receive and file Financial Status Reports

Background:

The monthly Financial Status Report is a summary of operational income and expenses for the months of June and July 2024 and for the fiscal year to date. It provides a summary of the March Inland Port Airport Authority's (MIPAA) ongoing activities related to the MIPAA approved FY 2023/24 budget. Included in the financials are the quarterly Investment Policy Compliance Statement reports which includes the report provided by Citizens Trust for the quarter ending June 30, 2024.

Attachment(s):

- 1) Financial Status Reports for June and July 2024.
- 2) Fourth Quarter FY 2023/24 Investment Policy Compliance Statement Reports.

ASSETS

Cash In Bank	\$ 8,916,999.33
Investment Account	2,049,500.62
Accounts Receivable	247,535.54
Accounts Receivable - Leases	76,456,407.78
Fixed Assets	36,352.00
Improvements	27,679,399.45
Infrastructure	2,110,182.11
Accumulated Depreciation	(8,204,032.95)
Land and Buildings	36,221,477.22
Deferred Outflows - Pension	295,543.31
Deferred Outflows - OPEB	58,017.00

Total Assets \$ 145,867,381.41

LIABILITIES

Accounts Payable	95,317.54
Payroll Liabilities	557,902.55
Interest Payable	1,672,366.67
Unearned Revenue	20,833.00
Debt to the JPA	2,687,896.35
Net Pension Liability	588,979.76
OPEB Liability	21,311.00
Compensated Absences	63,820.11
Deferred Inflows - Pension	38,144.47
Deferred Inflows - OPEB	28,024.00
Deferred Inflows - Leases	76,456,407.78

Total Liabilities 82,231,003.23

FUND BALANCE

Net Position, Beginning of Fiscal Year	61,989,036.52
Change in Fund Balance for the twelve months ending June 30, 2024	<u>1,647,341.66</u>

Ending Fund Balance, June 30, 2024 63,636,378.18

Total Liabilities and Net Position \$ 145,867,381.41

General Ledger

Expenses vs Budget



March Joint Powers Authority
 14205 Meridian Pkwy, Ste. 140
 Riverside, CA 92518
 (951) 656-7000
 www.marchjpa.com

User: SchumacherN
 Printed: 8/23/2024 12:01:48 PM
 Period 12 - 12
 Fiscal Year 2024

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
500	March Inland Port Fund					
500-10-50100-05	Salaries and Wages	508,548.00	15,395.67	448,805.37	59,742.63	11.75
500-10-50100-10	Benefits	70,377.00	2,414.72	49,740.73	20,636.27	29.32
500-10-50100-15	PERS Contributions	53,809.00	1,439.47	31,628.60	22,180.40	41.22
500-10-50100-20	Medicare Tax	8,288.00	237.09	6,726.78	1,561.22	18.84
500-10-50100-30	Workers Compensation Ins.	7,915.00	0.00	497.54	7,417.46	93.71
500-10-50100-99	Unfunded Accrued Liab(UAL)	54,605.00	0.00	0.00	54,605.00	100.00
500-10-50150-02	Mileage Reimbursement	1,700.00	0.00	0.00	1,700.00	100.00
500-10-50150-06	PeriodicalsMemberships	3,650.00	0.00	3,280.00	370.00	10.14
500-10-50150-08	EducationTraining	5,000.00	0.00	4,095.00	905.00	18.10
500-10-50150-12	Travel	5,000.00	3,559.39	11,479.73	-6,479.73	-129.59
500-10-50150-16	Office Supplies	1,500.00	165.62	1,374.16	125.84	8.39
500-10-50150-18	Telephone & Intenet Expense	20,500.00	2,517.05	20,805.11	-305.11	-1.49
500-10-50150-20	Mobile PhonesPagers	2,500.00	0.00	807.81	1,692.19	67.69
500-10-50150-24	Postage	100.00	0.00	0.00	100.00	100.00
500-10-50150-26	Liability Insurance - PERMA	28,000.00	0.00	22,982.44	5,017.56	17.92
500-10-50150-30	Printing - Outside	250.00	835.64	1,705.69	-1,455.69	-582.28
500-10-50150-32	Office Equipment Leases	3,200.00	245.60	2,256.11	943.89	29.50
500-10-50150-34	Office Equipment Maintenance	9,000.00	5,336.44	9,175.46	-175.46	-1.95
500-10-50150-36	Advertisement	3,500.00	0.00	2,160.60	1,339.40	38.27
500-10-50150-38	ProductionArtwork	1,000.00	0.00	0.00	1,000.00	100.00
500-10-50150-40	Promotional Activities	15,000.00	0.00	8,763.29	6,236.71	41.58
500-10-50150-42	Bank Fees	0.00	0.00	1,991.11	-1,991.11	0.00
500-10-50150-47	Office Rent	4,600.00	378.00	4,646.16	-46.16	-1.00
500-10-50150-48	Office Utilities	10,500.00	2,976.69	13,125.14	-2,625.14	-25.00
500-10-50150-50	Depreciation Expense	778,698.00	0.00	0.00	778,698.00	100.00
500-10-50175-00	Interest Expense	104,500.00	0.00	0.00	104,500.00	100.00
500-10-50200-01	General Consulting	25,000.00	22,199.92	24,400.99	599.01	2.40
500-10-50200-02	General Legal Services	100,000.00	5,444.60	36,833.06	63,166.94	63.17
500-10-50200-04	Special Legal Services	100,000.00	18,601.13	126,722.66	-26,722.66	-26.72
500-10-50200-06	Legal Litigation	800,000.00	0.00	0.00	800,000.00	100.00
500-10-50200-12	Environmental Review	30,000.00	0.00	0.00	30,000.00	100.00
500-10-50200-14	Annual Audit	15,000.00	6,000.00	6,327.03	8,672.97	57.82
500-10-50200-20	D. C. Lobbyist	0.00	800.00	800.00	-800.00	0.00
500-10-50200-26	Aviation Planning	35,000.00	0.00	3,368.43	31,631.57	90.38
500-10-50300-01	Airport Vehicle Purchase	60,000.00	47,884.63	47,884.63	12,115.37	20.19
500-10-50300-02	Furniture	0.00	0.00	205.52	-205.52	0.00

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
500-10-50300-06	Computer Hardware & Software	7,000.00	0.00	0.00	7,000.00	100.00
500-10-50300-10	Headquarter Relocation Expense	50,000.00	0.00	0.00	50,000.00	100.00
500-10-50300-12	Taxiway G Realignment	1,080,000.00	521,044.95	521,044.95	558,955.05	51.76
500-10-50300-30	FAA Grant AIP15 MasterPlanPMP	419,702.00	0.00	189,698.86	230,003.14	54.80
500-20-51150-00	Property Insurance - PERMA	79,000.00	0.00	77,057.00	1,943.00	2.46
500-20-51155-00	Airside Liability Insurance	50,000.00	0.00	31,124.21	18,875.79	37.75
500-20-51200-00	Building Maintenance	50,000.00	3,233.97	16,008.96	33,991.04	67.98
500-20-51250-00	Grounds Maintenance	22,000.00	342.45	11,106.86	10,893.14	49.51
500-20-51300-00	Equipment Maintenance	2,000.00	0.00	11,156.32	-9,156.32	-457.82
500-20-51325-00	Security maintenance	230,000.00	0.00	0.00	230,000.00	100.00
500-20-51350-00	Utilities	32,000.00	1,985.05	17,680.65	14,319.35	44.75
500-20-52150-00	Ramp Maintenance	175,000.00	0.00	0.00	175,000.00	100.00
500-20-52175-00	Taxiway Maintenance	175,000.00	0.00	0.00	175,000.00	100.00
500-20-52200-00	Obstruction Lighting	8,000.00	0.00	0.00	8,000.00	100.00
500-20-52300-00	Airport Equip. Maintenance	2,000.00	0.00	0.00	2,000.00	100.00
500-20-52350-00	Airport Equip. Rental	0.00	0.00	0.00	0.00	0.00
500-20-54020-00	Vehicle FuelMain.Ins.	3,500.00	0.00	2,207.81	1,292.19	36.92
500-20-55000-00	Environmental Fees	25,000.00	9,174.73	14,032.01	10,967.99	43.87
500-20-55005-00	Fuel Service O & M	15,000.00	0.00	0.00	15,000.00	100.00
500-20-55010-00	Airfield OPS Maintenance	43,000.00	0.00	0.00	43,000.00	100.00
500-20-55015-00	Air Force Payments (JUA)	137,000.00	26,424.83	72,570.28	64,429.72	47.03
500-23-56005-00	TRAFFIC SIGNALS	15,000.00	0.00	0.00	15,000.00	100.00
500-23-56010-00	SIGNAGE	1,000.00	0.00	300.15	699.85	69.99
500-23-56015-00	LIGHTING	30,000.00	0.00	0.00	30,000.00	100.00
500-23-56020-00	LANDSCAPING	100,000.00	4,334.00	27,635.92	72,364.08	72.36
500-23-56025-00	Drainage	20,000.00	0.00	0.00	20,000.00	100.00
500-23-56030-00	Street Sweeping	10,000.00	0.00	0.00	10,000.00	100.00
500-23-56035-00	Graffiti RemovalVandalism	5,000.00	0.00	0.00	5,000.00	100.00
Expense Total		5,652,942.00	702,971.64	1,884,213.13	3,768,728.87	66.6685
Grand Total		5,652,942.00	702,971.64	1,884,213.13	3,768,728.87	0.6667

General Ledger
Revenue vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

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Period 12 - 12
Fiscal Year 2024

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
500	March Inland Port Fund					
500-00-40100-00	LEASE REVENUE	-2,454,360.00	-206,585.71	-2,655,260.49	200,900.49	108.19
500-00-40300-00	PERMIT FEES	-6,000.00	0.00	-3,000.00	-3,000.00	50.00
500-00-40500-00	GRANTS FEDERAL	-1,593,115.00	0.00	-104,264.01	-1,488,850.99	6.54
500-00-40600-00	INTEREST INCOME	-12,000.00	0.00	-52,190.73	40,190.73	434.92
500-00-40750-00	MISCELLANEOUS	0.00	0.00	0.00	0.00	0.00
500-00-40799-00	GAINLOSS ON FV OF INVESTMENT	0.00	0.00	699.00	-699.00	0.00
500-00-44050-02	Fuel Flowage Fees	-395,888.00	-37,324.82	-391,161.28	-4,726.72	98.81
500-00-44050-04	Aircraft landing Fees	-281,010.00	-19,903.07	-206,642.30	-74,367.70	73.54
500-00-44050-14	Ramp Use Fees	-3,000.00	-109.60	-872.66	-2,127.34	29.09
500-00-44050-16	Security Fees	-500.00	0.00	-500.00	0.00	100.00
500-00-44050-18	Vendor Surcharges	-190,000.00	-12,799.89	-126,353.90	-63,646.10	66.50
500-00-44050-20	Aircraft Tie Down	0.00	0.00	-110.00	110.00	0.00
500-00-44050-22	Airplane Parking Fees	-10,000.00	-350.00	-12,320.00	2,320.00	123.20
	Revenue Total	4,945,873.00	277,073.09	3,551,976.37	1,393,896.63	71.817
	Grand Total	4,945,873.00	277,073.09	3,551,976.37	1,393,896.63	0.7182

ASSETS

Cash In Bank	\$ 9,340,731.67
Investment Account	2,049,500.62
Accounts Receivable	65,941.92
Accounts Receivable - Leases	76,456,407.78
Fixed Assets	36,352.00
Improvements	27,679,399.45
Infrastructure	2,110,182.11
Accumulated Depreciation	(8,204,032.95)
Land and Buildings	36,221,477.22
Deferred Outflows - Pension	295,543.31
Deferred Outflows - OPEB	58,017.00

Total Assets \$ 146,109,520.13

LIABILITIES

Accounts Payable	44,592.24
Payroll Liabilities	601,346.02
Interest Payable	1,672,366.67
Unearned Revenue	20,833.00
Debt to the JPA	2,687,896.35
Net Pension Liability	588,979.76
OPEB Liability	21,311.00
Compensated Absences	63,820.11
Deferred Inflows - Pension	38,144.47
Deferred Inflows - OPEB	28,024.00
Deferred Inflows - Leases	76,456,407.78

Total Liabilities 82,223,721.40

FUND BALANCE

Net Position, Beginning of Fiscal Year	63,636,378.18
Change in Fund Balance for the month ending July 31, 2024	249,420.55

Ending Fund Balance, July 31, 2024 63,885,798.73

Total Liabilities and Net Position \$ 146,109,520.13

General Ledger
Expenses vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
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Period 01 - 01
Fiscal Year 2025

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
500	March Inland Port Fund					
500-10-50100-05	Salaries and Wages	460,344.00	0.00	0.00	460,344.00	100.00
500-10-50100-10	Benefits	69,661.00	0.00	0.00	69,661.00	100.00
500-10-50100-15	PERS Contributions	39,971.00	0.00	0.00	39,971.00	100.00
500-10-50100-20	Medicare Tax	7,685.00	0.00	0.00	7,685.00	100.00
500-10-50100-30	Workers Compensation Ins.	7,200.00	0.00	0.00	7,200.00	100.00
500-10-50100-99	Unfunded Accrued Liab(UAL)	80,324.00	0.00	0.00	80,324.00	100.00
500-10-50150-02	Mileage Reimbursement	1,700.00	0.00	0.00	1,700.00	100.00
500-10-50150-06	PeriodicalsMemberships	3,650.00	0.00	0.00	3,650.00	100.00
500-10-50150-08	EducationTraining	5,000.00	517.50	517.50	4,482.50	89.65
500-10-50150-12	Travel	6,000.00	72.00	72.00	5,928.00	98.80
500-10-50150-16	Office Supplies	1,500.00	0.00	0.00	1,500.00	100.00
500-10-50150-18	Telephone & Intenet Expense	20,500.00	0.00	0.00	20,500.00	100.00
500-10-50150-20	Mobile PhonesPagers	2,500.00	0.00	0.00	2,500.00	100.00
500-10-50150-24	Postage	100.00	71.05	71.05	28.95	28.95
500-10-50150-26	Liability Insurance - PERMA	32,200.00	0.00	0.00	32,200.00	100.00
500-10-50150-30	Printing - Outside	1,000.00	0.00	0.00	1,000.00	100.00
500-10-50150-32	Office Equipment Leases	3,200.00	0.00	0.00	3,200.00	100.00
500-10-50150-34	Office Equipment Maintenance	9,000.00	399.11	399.11	8,600.89	95.57
500-10-50150-36	Advertisement	3,500.00	0.00	0.00	3,500.00	100.00
500-10-50150-38	ProductionArtwork	1,000.00	0.00	0.00	1,000.00	100.00
500-10-50150-40	Promotional Activities	15,000.00	0.00	0.00	15,000.00	100.00
500-10-50150-42	Bank Fees	3,000.00	0.00	0.00	3,000.00	100.00
500-10-50150-47	Office Rent	4,830.00	378.00	378.00	4,452.00	92.17
500-10-50150-48	Office Utilities	11,030.00	49.08	49.08	10,980.92	99.56
500-10-50150-50	Depreciation Expense	803,000.00	0.00	0.00	803,000.00	100.00
500-10-50175-00	Interest Expense	104,500.00	0.00	0.00	104,500.00	100.00
500-10-50200-01	General Consulting	25,000.00	0.00	0.00	25,000.00	100.00
500-10-50200-02	General Legal Services	100,000.00	0.00	0.00	100,000.00	100.00
500-10-50200-04	Special Legal Services	100,000.00	0.00	0.00	100,000.00	100.00
500-10-50200-06	Legal Litigation	800,000.00	0.00	0.00	800,000.00	100.00
500-10-50200-12	Environmental Review	30,000.00	0.00	0.00	30,000.00	100.00
500-10-50200-14	Annual Audit	15,000.00	0.00	0.00	15,000.00	100.00
500-10-50200-20	D. C. Lobbyist	13,000.00	0.00	0.00	13,000.00	100.00
500-10-50200-26	Aviation Planning	35,000.00	0.00	0.00	35,000.00	100.00
500-10-50300-01	Airport Vehicle Purchase	0.00	-2,500.00	-2,500.00	2,500.00	0.00
500-10-50300-06	Computer Hardware & Software	7,000.00	0.00	0.00	7,000.00	100.00

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
500-10-50300-10	Headquarter Relocation Expense	50,000.00	0.00	0.00	50,000.00	100.00
500-10-50300-12	Taxiway G Realignment	4,096,423.00	0.00	0.00	4,096,423.00	100.00
500-10-50300-30	FAA Grant AIP15 MasterPlanPMP	400,000.00	0.00	0.00	400,000.00	100.00
500-10-50300-55	Pavement Resurfacing	119,508.00	0.00	0.00	119,508.00	100.00
500-20-51150-00	Property Insurance - PERMA	90,850.00	0.00	0.00	90,850.00	100.00
500-20-51155-00	Airside Liability Insurance	50,000.00	9,405.80	9,405.80	40,594.20	81.19
500-20-51200-00	Building Maintenance	50,000.00	0.00	0.00	50,000.00	100.00
500-20-51250-00	Grounds Maintenance	22,000.00	0.00	0.00	22,000.00	100.00
500-20-51300-00	Equipment Maintenance	2,000.00	0.00	0.00	2,000.00	100.00
500-20-51325-00	Security maintenance	230,000.00	0.00	0.00	230,000.00	100.00
500-20-51350-00	Utilities	25,000.00	241.78	241.78	24,758.22	99.03
500-20-52150-00	Ramp Maintenance	175,000.00	0.00	0.00	175,000.00	100.00
500-20-52175-00	Taxiway Maintenance	175,000.00	0.00	0.00	175,000.00	100.00
500-20-52200-00	Obstruction Lighting	8,000.00	0.00	0.00	8,000.00	100.00
500-20-52300-00	Airport Equip. Maintenance	2,000.00	0.00	0.00	2,000.00	100.00
500-20-54020-00	Vehicle FuelMain.Ins.	3,600.00	0.00	0.00	3,600.00	100.00
500-20-55000-00	Environmental Fees	18,000.00	0.00	0.00	18,000.00	100.00
500-20-55005-00	Fuel Service O & M	15,000.00	0.00	0.00	15,000.00	100.00
500-20-55010-00	Airfield OPS Maintenance	43,000.00	0.00	0.00	43,000.00	100.00
500-20-55015-00	Air Force Payments (JUA)	391,000.00	0.00	0.00	391,000.00	100.00
500-23-56010-00	SIGNAGE	2,000.00	0.00	0.00	2,000.00	100.00
500-23-56015-00	LIGHTING	20,000.00	0.00	0.00	20,000.00	100.00
500-23-56020-00	LANDSCAPING	75,000.00	0.00	0.00	75,000.00	100.00
500-23-56025-00	Drainage	10,000.00	0.00	0.00	10,000.00	100.00
500-23-56030-00	Street Sweeping	10,000.00	0.00	0.00	10,000.00	100.00
500-23-56035-00	Graffiti RemovalVandalism	5,000.00	0.00	0.00	5,000.00	100.00
Expense Total		8,910,776.00	8,634.32	8,634.32	8,902,141.68	99.9031
Grand Total		8,910,776.00	8,634.32	8,634.32	8,902,141.68	0.999

General Ledger
Revenue vs Budget

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Period 01 - 01
Fiscal Year 2025



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
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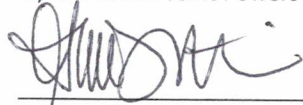
Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% ExpendCollect
500	March Inland Port Fund					
500-00-40100-00	LEASE REVENUE	-2,454,360.00	-206,585.71	-206,585.71	-2,247,774.29	8.42
500-00-40300-00	PERMIT FEES	-6,000.00	0.00	0.00	-6,000.00	0.00
500-00-40500-00	GRANTS FEDERAL	-360,000.00	0.00	0.00	-360,000.00	0.00
500-00-40500-05	FAA Grant - TW G Realignment	-3,686,781.00	0.00	0.00	-3,686,781.00	0.00
500-00-40500-10	FAA AP-5 Pavement Resurfacing	-107,557.00	0.00	0.00	-107,557.00	0.00
500-00-40600-00	INTEREST INCOME	-223,600.00	0.00	0.00	-223,600.00	0.00
500-00-44050-02	Fuel Flowage Fees	-395,888.00	-41,729.14	-41,729.14	-354,158.86	10.54
500-00-44050-04	Aircraft landing Fees	-281,010.00	-52,514.81	-52,514.81	-228,495.19	18.69
500-00-44050-14	Ramp Use Fees	-3,000.00	-97.68	-97.68	-2,902.32	3.26
500-00-44050-16	Security Fees	-1,000.00	0.00	0.00	-1,000.00	0.00
500-00-44050-18	Vendor Surcharges	-190,000.00	-198.00	-198.00	-189,802.00	0.10
500-00-44050-20	Aircraft Tie Down	-3,450.00	0.00	0.00	-3,450.00	0.00
500-00-44050-22	Airplane Parking Fees	-10,000.00	-373.00	-373.00	-9,627.00	3.73
Revenue Total		7,722,646.00	301,498.34	301,498.34	7,421,147.66	3.9041
Grand Total		7,722,646.00	301,498.34	301,498.34	7,421,147.66	0.039

March Inland Port Airport Authority
Investment Quarterly Report
Airport Fund
June 30, 2024

<u>Type</u>	<u>Issuer</u>	<u>Coupon</u>	<u>CUSIP</u>	<u>Purchase Date</u>	<u>Maturity Date</u>	<u>Cost</u>	<u>Market Value</u>
Cash & Cash Equivalents	BLACKROCK BLF LIQUIDITY FEDFUND		09248U700	On going	Open	\$ 64,814.41	\$ 64,814.41
Fixed Income							
US Government Agency	FEDERAL HOME LOAN BANK	5.250%	3130AWZM5	8/25/2023	12/13/2024	\$ 499,800.00	\$ 499,085.00
	FEDERAL HOME LOAN BANK	5.050%	3130B04L0	2/22/2024	8/18/2025	\$ 400,000.00	\$ 399,156.00
	FEDERAL HOME LOAN BANK	5.250%	3130B0AZ2	2/28/2024	8/27/2025	\$ 300,000.00	\$ 299,925.00
	FEDERAL HOME LOAN BANK	5.125%	3130B0C56	3/1/2024	8/28/2025	\$ 300,000.00	\$ 299,595.00
	FEDERAL HOME LOAN BANK	5.200%	3130B0JT7	3/22/2024	9/19/2025	\$ 500,000.00	\$ 499,755.00
	Total US Government Agency					\$ 1,999,800.00	\$ 1,997,516.00
Total Fixed Income						\$ 1,999,800.00	\$ 1,997,516.00
Total Assets						\$ 2,064,614.41	\$ 2,062,330.41

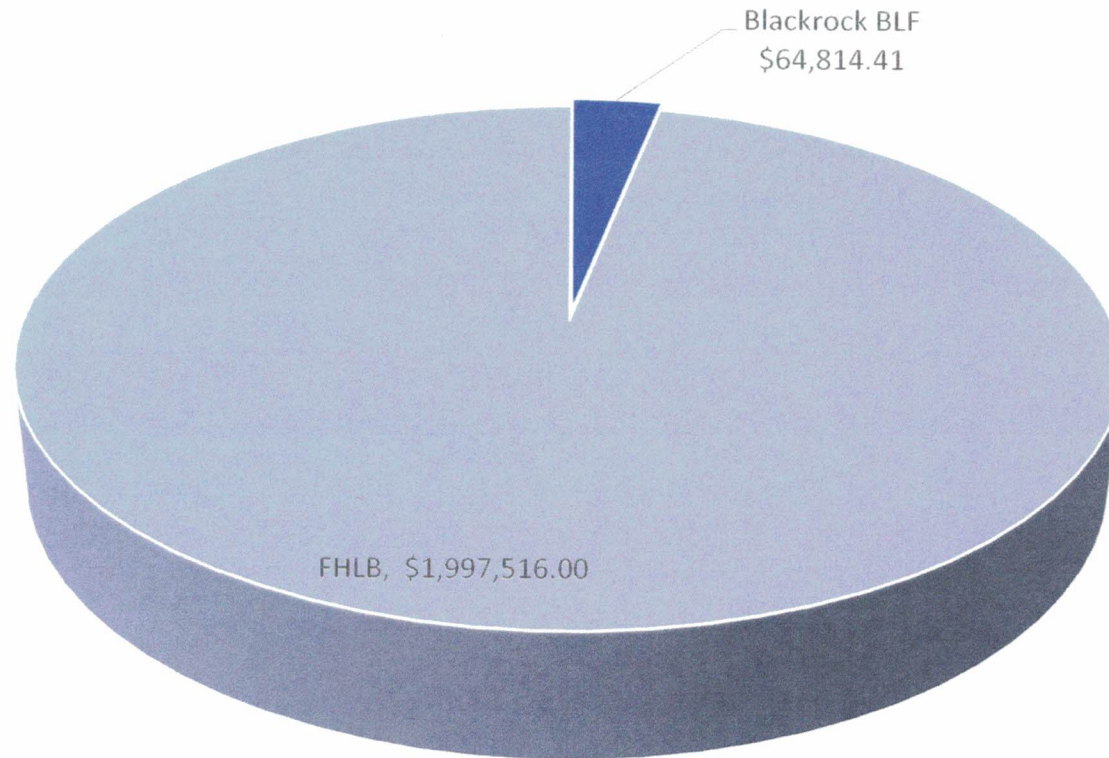
Investment Policy Assertions

- 1) Portfolio valuation provided by ICE Data Services
- 2) All investment actions executed since the last Investment Report are in full compliance with the Investment Policy.
- 3) The March Joint Powers Authority has sufficient funds to meet its expenditures obligations for the next six months.



 Dr. Grace Martin
 Chief Executive Officer/Treasure

**March Joint Powers Authority
Airport Fund
June 30, 2024**



FOS INDICATOR

THAO LE

STATEMENT FOR THE PERIOD FROM 03/01/2024 TO 03/31/2024
ACCOUNT 1035014731

THIS IS YOUR REPORT OF INVESTMENTS AND TRANSACTIONS FOR THE PERIOD. INCLUDED IN THE REPORT ARE

* PORTFOLIO: SUMMARY GRAPHICAL DISPLAY WITH MARKET VALUE & PERCENT

* ACTIVITY SUMMARY: MARKET VALUE WITH TRANSACTION SUMMARY

* PORTFOLIO STATEMENT: A LISTING OF COST AND MARKET VALUE OF ASSETS HELD IN THE PORTFOLIO

COST BASIS APPLICABLE FOR CALCULATING CAPITAL GAINS AND LOSSES.
MARKET VALUE IS THE CURRENT VALUE OF EACH ASSET FOR MOST STOCKS AND BONDS.
MARKETS ARE THE CLOSING PRICES ON THE LAST TRADING DAY OF THE PERIOD.

* TRANSACTION STATEMENT: A COMPLETE LISTING FOR THE PERIOD GROUPED BY TRANSACTION TYPE.

* DISCLOSURES: CITIZENS BUSINESS BANK MAY RECEIVE RESEARCH AND OTHER BENEFITS FROM BROKER DEALERS WHICH MAY BE CONSIDERED COMPENSATION TO US. UPON REQUEST WE WILL DISCLOSE DETAILS OF ANY COMPENSATION RECEIVED.

* TO TRUST BENEFICIARIES: UNDER SECTION 17200 OF CALIFORNIA PROBATE CODE, YOU MAY PETITION THE COURT TO OBTAIN A COURT REVIEW OF THE ACCOUNT AND THE ACTS OF THE TRUSTEE. CLAIMS AGAINST THE TRUSTEE FOR BREACH OF TRUST MUST BE MADE WITHIN THREE YEARS FROM THE DATE OF RECEIPT OF AN ACCOUNTING OR OTHER REPORT DISCLOSING FACTS GIVING RISE TO THE CLAIM.

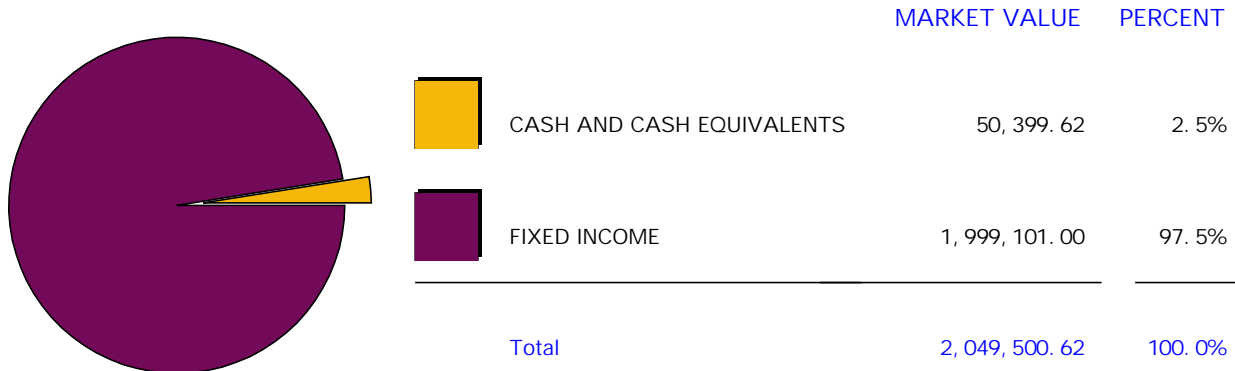
ACCOUNT NUMBER: 1035014731

MARCH 01, 2024 TO MARCH 31, 2024

THAO LE

ACCOUNT NAME:	MARCH JOINT POWERS AUTHORITY - AIRPORT FUND, CITIZENS BUSINESS BANK AS AGENT
ACCOUNT NUMBER:	1035014731
RELATIONSHIP MANAGER:	STEVEN SPARE 909-483-4390 SLSPARE@CBBANK.COM

ASSET SUMMARY



ACCOUNT VALUE CHANGE

	THIS PERIOD	YEAR TO DATE
BEGINNING MARKET VALUE	2,048,540.07	2,009,535.12
NET INTEREST INCOME	1,380.04	42,110.67
FEES	275.49-	854.57-
REALIZED GAIN/LOSS	0.00	240.00
CHANGE IN MARKET VALUE	144.00-	1,530.60-
ENDING MARKET VALUE	2,049,500.62	2,049,500.62

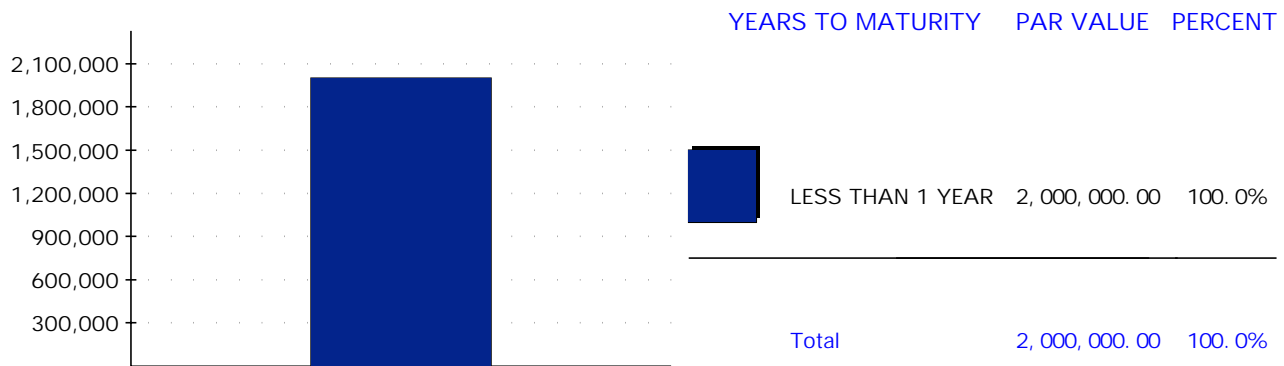
TRANSACTION SUMMARY

	CURRENT PERIOD			YEAR TO DATE		
	PRINCIPAL CASH	INCOME CASH	COST	PRINCIPAL CASH	INCOME CASH	COST
BEGINNING BALANCE	50,570.69-	50,570.69	2,049,095.07	9,840.06-	9,840.06	2,008,703.52
NET INTEREST INCOME	0.00	1,380.04	0.00	0.00	42,110.67	0.00
FEES	275.49-	0.00	0.00	854.57-	0.00	0.00
SALES	0.00	0.00	0.00	1,470,000.00	0.00	1,469,760.00-
PURCHASES	800,000.00-	0.00	800,000.00	1,500,000.00-	0.00	1,500,000.00
MISCELLANEOUS	798,895.45	0.00	798,895.45-	11,256.10-	0.00	11,256.10
ENDING BALANCE	51,950.73-	51,950.73	2,050,199.62	51,950.73-	51,950.73	2,050,199.62

ASSET DETAIL

DESCRIPTION	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
CASH AND CASH EQUIVALENTS				
BLACKROCK BLF	50,399.62	50,399.62	2,620.78	5.20
	1.00	0.00	218.40	
CASH	0.00	0.00		
TOTAL CASH AND CASH EQUIVALENTS	50,399.62	50,399.62	2,620.78	5.20
		0.00	218.40	

BOND MATURITY SUMMARY



AVERAGE TIME TO MATURITY: 0.8 YEARS

CURRENT YIELD: 5.18%

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
US GOVERNMENT AGENCY						
FEDERAL HOME LOAN BANK DTD 8/25/2023 5.25% 12/13/2024	AA+	500,000.000	500,495.00	499,800.00	26,250.00	5.24
			100.10	695.00	7,875.00	
FEDERAL HOME LOAN BANK DTD 2/22/2024 CALL 5.05% 08/18/2025-2025	AA+	400,000.000	399,320.00	400,000.00	20,200.00	5.06
			99.83	680.00-	2,188.33	
FEDERAL HOME LOAN BANK DTD 2/28/2024 CALL 5.25% 08/27/2025-2024	AA+	300,000.000	300,132.00	300,000.00	15,750.00	5.25
			100.04	132.00	1,443.75	
FEDERAL HOME LOAN BANK DTD 3/1/2024 CALL 5.125% 08/28/2025-2025	AA+	300,000.000	299,889.00	300,000.00	15,375.00	5.13
			99.96	111.00-	1,281.25	
FEDERAL HOME LOAN BANK DTD 3/22/2024 CALL 5.2% 09/19/2025-2024	AA+	500,000.000	499,265.00	500,000.00	26,000.00	5.21
			99.85	735.00-	650.00	
TOTAL US GOVERNMENT AGENCY			1,999,101.00	1,999,800.00	103,575.00	5.18
		SUB-TOTAL		699.00-	13,438.33	

ASSET DETAIL (CONTINUED)

DESCRIPTION	RATING	PAR VALUE	MARKET VALUE/ PRICE	TAX COST/ UNREALIZED GAIN/LOSS	EST ANNUAL INCOME/ ACCRUED INC	CURRENT YIELD
FIXED INCOME						
TOTAL FIXED INCOME			1,999,101.00	1,999,800.00 699.00-	103,575.00 13,438.33	5.18
TOTAL ASSETS			2,049,500.62	2,050,199.62 699.00-	106,195.78 13,656.73	5.18
TOTAL ACCRUED INC			13,656.73	13,656.73		
GRAND TOTAL ASSETS			2,063,157.35	2,063,856.35 699.00-	106,195.78 13,656.73	5.18

TRANSACTION DETAIL

DATE	DESCRIPTION	PRINCIPAL CASH	INCOME CASH	COST	GAIN / LOSS
	BEGINNING BALANCE	50,570.69-	50,570.69	2,049,095.07	
	NET INTEREST INCOME				
03/01/24	INTEREST ON BLACKROCK BLF PAYABLE 03/01/2024		1,380.04		
	TOTAL NET INTEREST INCOME	0.00	1,380.04	0.00	0.00
	FEEs				
03/27/24	MANAGEMENT FEES CITIZENS BUSINESS BANK FOR THE PERIOD ENDING 03/20/2024	275.49-			
	TOTAL FEES	275.49-	0.00	0.00	0.00
	PURCHASES				
03/01/24	PURCHASED 300,000 UNITS FEDERAL HOME LOAN BANK DTD 3/1/2024 CALL 5.125% 08/28/2025-2025 ON 02/28/2024 AT 100.00 THRU INTL FCSTONE FINANCIAL INC	300,000.00-		300,000.00	
03/22/24	PURCHASED 500,000 UNITS FEDERAL HOME LOAN BANK DTD 3/22/2024 CALL 5.2% 09/19/2025-2024 ON 03/19/2024 AT 100.00 THRU ZIONS FIRST NATIONAL BANK	500,000.00-		500,000.00	
	TOTAL PURCHASES	800,000.00-	0.00	800,000.00	0.00
	NET CASH MANAGEMENT	798,895.45		798,895.45-	
	TOTAL	798,895.45	0.00	798,895.45-	0.00
	ENDING BALANCE	51,950.73-	51,950.73	2,050,199.62	0.00

DISCLOSURE

1099S WILL BE POST-MARKED ON OR BEFORE FEBRUARY 28TH. UNLESS THE ACCOUNT HOLDS COMPLEX ASSETS (REITS, GNMA, FNMA, OTHER GOV'T AGY) OR MASTER LIMITED PARTNERSHIPS (MLPS). THE LATTER WILL BE POST-MARKED BY MARCH 18TH. MAILING OF FIDUCIARY TAX INFORMATION WILL BEGIN MID-FEBRUARY AND CONTINUE THROUGH EARLY APRIL.

MARCH JOINT POWERS COMMISSION
OF THE
MARCH INLAND PORT AIRPORT AUTHORITY

MIPAA Operations - Consent Calendar
Agenda Item No. 11 (3)

Meeting Date: September 11, 2024

Action: **APPROVE JUNE AND JULY 2024 DISBURSEMENTS**

Motion: Move to approve the check disbursements for the months of June and July 2024 or take other actions as deemed appropriate by the Commission.

Background:

This item is an action approving the expenses (checks) that were incurred in the months of June and July 2024 for the March Inland Port Airport Authority (MIPAA). A listing of those checks is attached and will be reported in the minutes as an action item.

Attachment(s): 1) Listing of checks disbursed in June and July 2024 for the March Inland Port Airport Authority.

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
 Printed: 8/26/2024 5:03 PM



March Joint Powers Authority
 14205 Meridian Pkwy, Ste. 140
 Riverside, CA 92518
 (951) 656-7000
www.marchjpa.com

March Inland Port Airport Authority - Fund 500

Check No	Vendor No	Vendor Name	Check Date	Check Amount
5005229	FRONTIER	Frontier Communications	06/06/2024	821.57
5005230	Raceway2	Raceway Ford	06/06/2024	47,884.63
5005231	CGResour	CG Resource Management & Engineering, Inc.	06/06/2024	5,133.09
5005232	SCE4	Southern California Edison	06/06/2024	851.36
5005233	Marathon	Marathon HVAC Services	06/06/2024	150.00
5005234	JanPro	Commerical Cleaning Solutions, Inc.	06/06/2024	890.00
5005235	BESTBE	Best Best & Krieger, LLP	06/21/2024	10,041.00
5005236	C&S	C & S Engineers, Inc.	06/21/2024	492,242.07
5005237	FRONTIER	Frontier Communications	06/21/2024	820.57
5005238	AQMD	South Coast AQMD.	06/21/2024	4,041.64
5005239	PaulAHan	Paul A Haney & Associates LLC	06/21/2024	5,000.00
5005240	BRIGHT	BrightView Landscape Services, Inc.	06/21/2024	1,342.00
5005241	BESTBE	Best Best & Krieger, LLP	06/25/2024	7,828.20
5005242	COSCO	Cosco Fire Protection Inc.	06/25/2024	628.00
5005243	StaplesA	Staples Business Credit	06/25/2024	82.49
5005244	FARR	Davis Farr	06/25/2024	6,000.00
5005245	WMWD	Western Municipal Water District	06/25/2024	427.08
5005246	PaulAHan	Paul A Haney & Associates LLC	06/25/2024	5,000.00
5005247	CanonF	Canon Finandial Services, Inc.	06/25/2024	245.60
5005248	WMWD2	Western Municipal Water District	06/25/2024	239.37
5005249	BankofAm	Bank Of America	06/25/2024	3,579.65
5005250	BESTBE	Best Best & Krieger, LLP	06/26/2024	60,924.45
Report Total (22 Checks):				<u>\$ 654,172.77</u>

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
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March Joint Powers Authority
 14205 Meridian Pkwy, Ste. 140
 Riverside, CA 92518
 (951) 656-7000
www.marchjpa.com

March Inland Port Airport Authority - Fund 500

Check No	Vendor No	Vendor Name	Check Date	Check Amount
5005251	FRONTIER	Frontier Communications	07/01/2024	835.74
5005252	HBS	Husch Blackwell Strategies LLC	07/01/2024	800.00
5005253	PaulAHan	Paul A Haney & Associates LLC	07/01/2024	5,000.00
5005254	DesignAi	Design Air, LLC	07/01/2024	150.00
5005255	AMCG	Aviation Management Consulting Group	07/02/2024	7,101.06
5005256	BESTBE	Best Best & Krieger, LLP	07/11/2024	1,815.20
5005257	MGS	M.G.S.	07/11/2024	704.10
5005258	SCE4	Southern California Edison	07/11/2024	857.68
5005259	WMWD	Western Municipal Water District	07/11/2024	427.08
5005260	WASTEM	WM Corporate Services, Inc.	07/11/2024	241.78
5005261	USTREAS	Treasurer Of The United States of America	07/11/2024	26,424.83
5005262	BankofAm	Bank Of America	07/22/2024	1,968.56
5005263	StaplesA	Staples Business Credit	07/22/2024	83.13
5005264	BRIGHT	BrightView Landscape Services, Inc.	07/22/2024	1,342.00
5005265	William2	Grace Martin	07/25/2024	172.50
5005266	ORELLANA	Carlos Orellana	07/25/2024	315.55
5005267	NINAS	Nina Schumacher	07/25/2024	172.50
5005268	WMWD2	Western Municipal Water District	07/25/2024	864.68
Report Total (18 Checks):				<u>\$ 49,276.39</u>

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MIPAA - Reports, Discussions and Action Items
Agenda Item No. 12 (1)

Meeting Date: September 11, 2024

Report/Action: **APPROVE C&S COMPANIES SCOPE OF WORK FOR THE AP-5 CRACK SEAL REHABILITATION PROJECT AND AUTHORIZE MIPAA TO CONTRIBUTE \$23,810 TOWARDS THE DESIGN, BIDDING AND AWARDING OF THE PROJECT**

Motion: Approve C&S Companies Scope of Work for the AP-5 Crack Seal Rehabilitation Project and Authorize MIPAA to Contribute \$23,810 towards the Design, Bidding and Awarding of the Project.

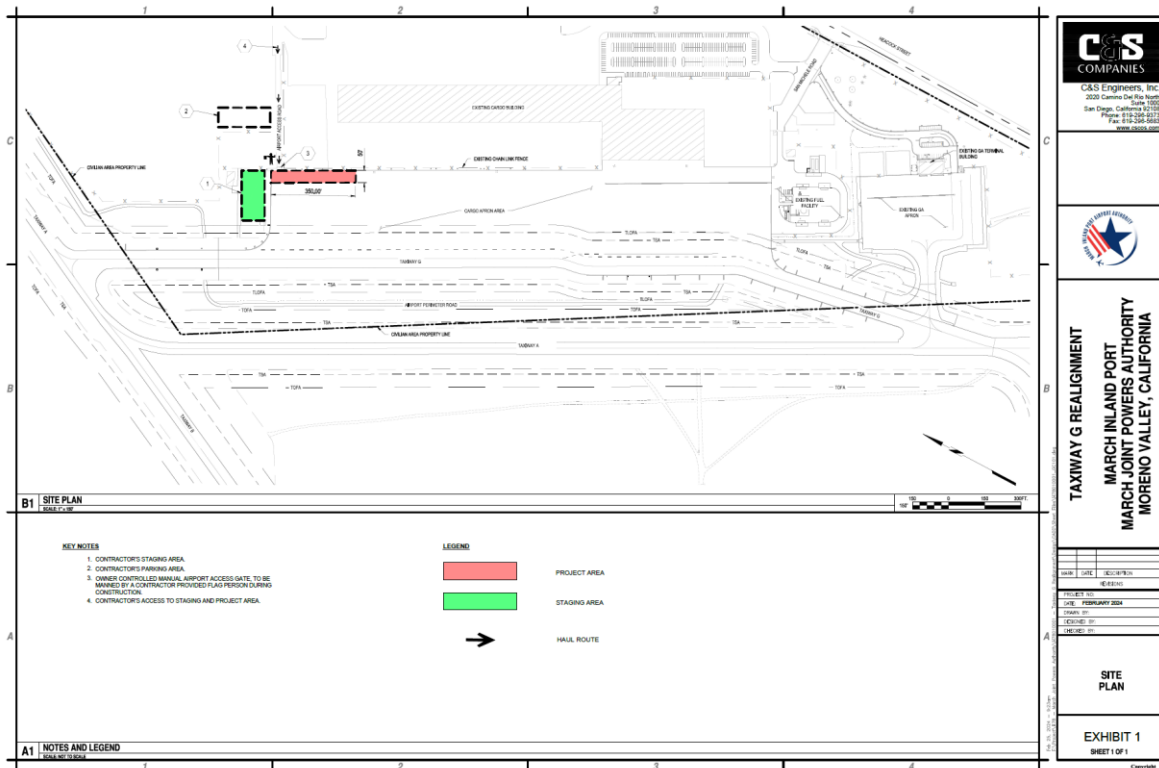
Applicant: March Inland Port Airport Authority (MIPAA)

Background:

On December 13, 2023, the Commission of the March Inland Port Airport Authority (MIPAA) approved an updated 5-year Airport Capital Improvement Plan (ACIP) consistent with FAA funding criteria. The ACIP included phases of the FAA approved Pavement Management Plan (PMP) for MIPAA. The attached scope of work by MIPAA engineer, C&S Companies, is to assist in the design, bidding and awarding for the AP-5 Crack Seal Rehabilitation Project.

The project scope generally consists of the joint and crack repair of the apron pavement identified in the Pavement Management Program as area “AP-5”. This area is in the northeastern corner of the existing cargo apron that is showing signs of pavement fatigue and cracking. The proposed project will address the cracking and routing and sealing of all the cracks, as well as completing isolated pavement repairs for spalled concrete patches. The project repair area is proposed at 50’ x 350’. This project is proposed to be completed in a single phase. No expansion of pavement surface is proposed.

The attached site plan identifies the proposed work area in pink and the staging area in green. Currently, this area serves as storage for Amazon Air. Additionally, no aircraft park on this portion of the apron.



NEPA

A Categorical Exclusion was submitted to analyze all environmental impacts associated with the project and on June 20, 2024, the FAA approved the CatEx pursuant to FAA Order 1050.1F.

CEQA:

The project is categorically exempt from CEQA under the existing facilities exemption, CEQA Guidelines section 15301(d). The existing facilities exemption applies to the restoration or rehabilitation of damaged or deteriorated facilities so long as there is no expansion of use. The project proposes rehabilitation of the existing cargo apron and does not involve any expansion of its current operational use.

None of the exceptions to the use of a categorical exemption identified in CEQA Guidelines section 15300.2 apply here. No significant cumulative impacts would result from the proposed project. Nor is there any reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances, because no unusual circumstances are presented. The project is not located on a scenic highway and will not damage any scenic or historic resources. Finally, the project is not located on a hazardous waste site identified in the Cortese list.

Funding:

The scope of work is proposed at approximately \$43,000 to be covered by FAA entitlement funds for MIPAA. The sponsor (MIPAA) would contribute \$23,810 toward the design, bidding and awarding of the project.

Schedule:

The final design plans are complete, and bidding is slated for December 2024. At a future date, staff will bring back an action item requesting authorization to advertise for a Request for Proposals.

Recommendation:

Staff recommends approving C&S Companies scope of work dated March 20, 2024, for the AP-5 Crack Seal Rehabilitation Project and authorize MIPAA to contribute \$23,810 towards the design, bidding and awarding of the project.

Attachment(s):

- 1) C&S Companies Scope of Work 03-20-2024
- 2) Notice of Exemption

March 20, 2024

Dr. Grace Martin
Chief Executive Officer
14205 Meridian Parkway, Suite 140
Riverside CA 92518

Re: Professional Engineering Services
AP-5 Crack Seal Rehabilitation

SCHEDULE A – Scope of Work

Dear Dr. Martin:

C&S Engineers, Inc. (C&S/Consultant) is pleased to submit this proposal to provide professional engineering services for the March Joint Powers Authority (MJPA/Sponsor) to design an pavement crack seal rehabilitation at the March Reserve Air Base Airport (RIV) located in the City of Riverside, Riverside County, California.

We propose to provide the services described herein.

Project Description:

Currently, portions of the concrete surface of March Inland Port Airport's designated apron need treatment. The longitudinal and transverse concrete panel has been cracking and has appeared throughout the pavement and is rapidly deteriorating.

The proposed pavement crack sealing will be able to maintain the pavement integrity and extend the service life of the pavement. All newly sealed areas and newly constructed areas will be re-stripped, following adequate cure time of the preservative seal. The proposed project will consist of approximately 17,500 SF of the apron (see Attachment A) and will result in approximately 1,000 linear feet of cracking.

Scope of Services

For this project, we anticipate the involvement of the following disciplines:

- Airport
- Site/civil

ADMINISTRATION PHASE

The specific services to be provided or furnished for this Phase of the Project are the following:

1. Perform project management duties such as project planning, invoice preparation, schedule coordination and coordination of design team.
2. Provide to the SPONSOR monthly project status reports.
3. Schedule coordination- consultant shall provide continued coordination so that project schedules

are met for each phase of work included in this contract.

4. Coordinate and schedule Progress Project Meeting with Sponsor.

SCHEMATIC DESIGN PHASE (30%)

The Schematic Design Phase is intended to identify and evaluate alternatives to provide cost-effective and practical solutions for the work items identified. The CONSULTANT will evaluate alternatives through contacts with local authorities, field investigations, and a practical design approach. The Project's design will take advantage of local knowledge and experience and will utilize expertise from recent construction projects in an effort to design a cost-effective Project. The specific services to be provided or furnished for this Phase of the Project are the following:

1. Schedule and conduct a pre-design meeting with the SPONSOR to review the scope of services and become familiar with the Project requirements and operational concerns during the Project's construction.
2. Acquire and review record documents (such as plans, specifications, reports, and studies) to become familiar with data that is available for the Project.
3. Perform a preliminary Project site inspection to further familiarize the design team with Project areas.
4. Prepare preliminary plans identifying required topographic field surveys and other field investigative programs. Develop a schedule of completion of required surveys and investigations to minimize interference with airport and tenant operations. Coordinate schedule with SPONSOR and supervise programs at the Project site as necessary.
5. Acquire the necessary topographic survey of and utility data for, the Project site, including related office computations and drafting.
6. Prepare preliminary opinion of probable construction costs for each major element of the Project.
7. Develop a draft construction safety phasing plan (CSPP) that endeavors to limit interference by the Project's construction with airport and tenant operations.
8. Submit schematic design to the sponsor for their review.
9. Schedule and conduct a schematic design review meeting with the SPONSOR to review the schematic design.

PRELIMINARY DESIGN (90%)

The services to be performed during this Phase consist generally of services required to furnish the SPONSOR with a set of Preliminary Plans, Specifications, and Engineer's Report.

The specific services to be provided or furnished for this Phase of the Project are the following:

1. Conduct site inspections to verify topographic survey and other Project-related existing physical features and facilities.
2. Finalize horizontal crack seal layouts and place sufficient information on drawings to layout proposed rehabilitation in field during construction.

3. Update draft CSPP based on preliminary design.
4. Develop a soil erosion control plan that encompasses all phases of the project.
5. Prepare preliminary Contract Drawings (approximately 90% complete) providing sufficient detail for review of design concepts by the SPONSOR.
6. Develop general specifications.
7. Develop technical specifications expected to be required for the proposed work.
8. Update opinion of probable construction cost to reflect the outcomes of preliminary Project design.
9. Perform an internal quality control review on all design documents.
10. Submit sufficient copies of preliminary design documents to the SPONSOR for their review and comment.
11. Schedule and conduct a preliminary design review meeting to discuss and resolve SPONSOR comments.

FINAL DESIGN PHASE

The services included under this Phase shall generally consist of services required to furnish the SPONSOR with a complete set of Contract Documents for the Project, including Final Plans, Specifications, Engineer's Design Report, and opinion of probable construction costs. Services to be performed or furnished during this Phase may include revising the preliminary submittal information to comply with SPONSOR and then completion of the final design. Plans and Specifications, suitable for unit price bidding, will be completed; final design will be coordinated with the SPONSOR and a complete set of bid documents will be furnished to the SPONSOR. A final opinion of probable construction cost and the final Design Report will also be prepared and submitted. A final Construction Safety and Phasing Plan will be included as part of the Contract Documents.

The specific services to be provided or furnished for this Phase of the Project are the following:

1. Finalize fuel tank designs.
2. Detail and finalize pavement geometry.
3. Finalize airfield lighting layouts, electrical power distribution and system designs, and detail installations.
4. Finalize pavement marking layouts, and detail installations.
5. Prepare final Contract Drawings. It is anticipated that the final drawings will consist of the following sheets:

Sheets	Name
1	Title Sheet
2	Quantities for Canvass of Bids and Sheet Index
3	General Notes and Legend
4	General Plan
5	Construction Safety Phasing Plans and Details
6	Existing Conditions Plan
7	Demolition Plans
8	Soil Erosion and Sediment Control Plans & Details
9	Proposed Site Plan
9	Grading Plans
10	Details
11	Marking Details

6. Perform a detailed quantity takeoff of all bid items to be included on the Contract Drawings and in the General Specifications of the Contract Documents.
7. Finalize General Specifications
8. Finalize written Technical Specifications for all construction materials and installations
9. Finalize CSPP and include in Specifications and on the Contract Drawings.
10. Prepare final opinion of probable construction costs based upon the actual bid items and quantity takeoffs.
11. Finalize design report to be consistent with the final design.
12. Submit both the construction safety phasing plan and 7460 form electronically to the FAA.
13. Perform final internal quality control review on all design documents.
14. Submit draft final documents to the SPONSOR for final review and comment.
15. Schedule and conduct draft final review meeting with the SPONSOR and to discuss and resolve final comments.
16. Reproduce and submit sufficient copies of bid documents to SPONSOR for bidding purposes. Bid documents shall consist of the Contract Drawings and Specifications.

Schedule

Site visit and kickoff meeting	Within 3-weeks of Notice to Proceed (NTP)
Conceptual design plans	Within 2-weeks of site visit and kickoff meeting
Conceptual design review meeting	Within 1-week of conceptual design submittal
30% DD plans	Within 1-weeks of conceptual design review meeting
30% DD review meeting	Within 1-week of 30% DD submittal
90% DD plans and specifications	Within 1-weeks of 30% DD review meeting
90% DD review meeting	Within 1-week of 90% DD submittal
100% CDs S&S by CA PEs	Within 1-weeks of 90% DD review meeting

Assumptions

1. Airport representatives will escort C&S representatives to and from the existing project site for the site visit.
2. We assume additional site visits will not be necessary.
3. MIPA will provide available as-built plans of the existing facility.
4. New, or improvements to existing, buildings or canopies will not be required.

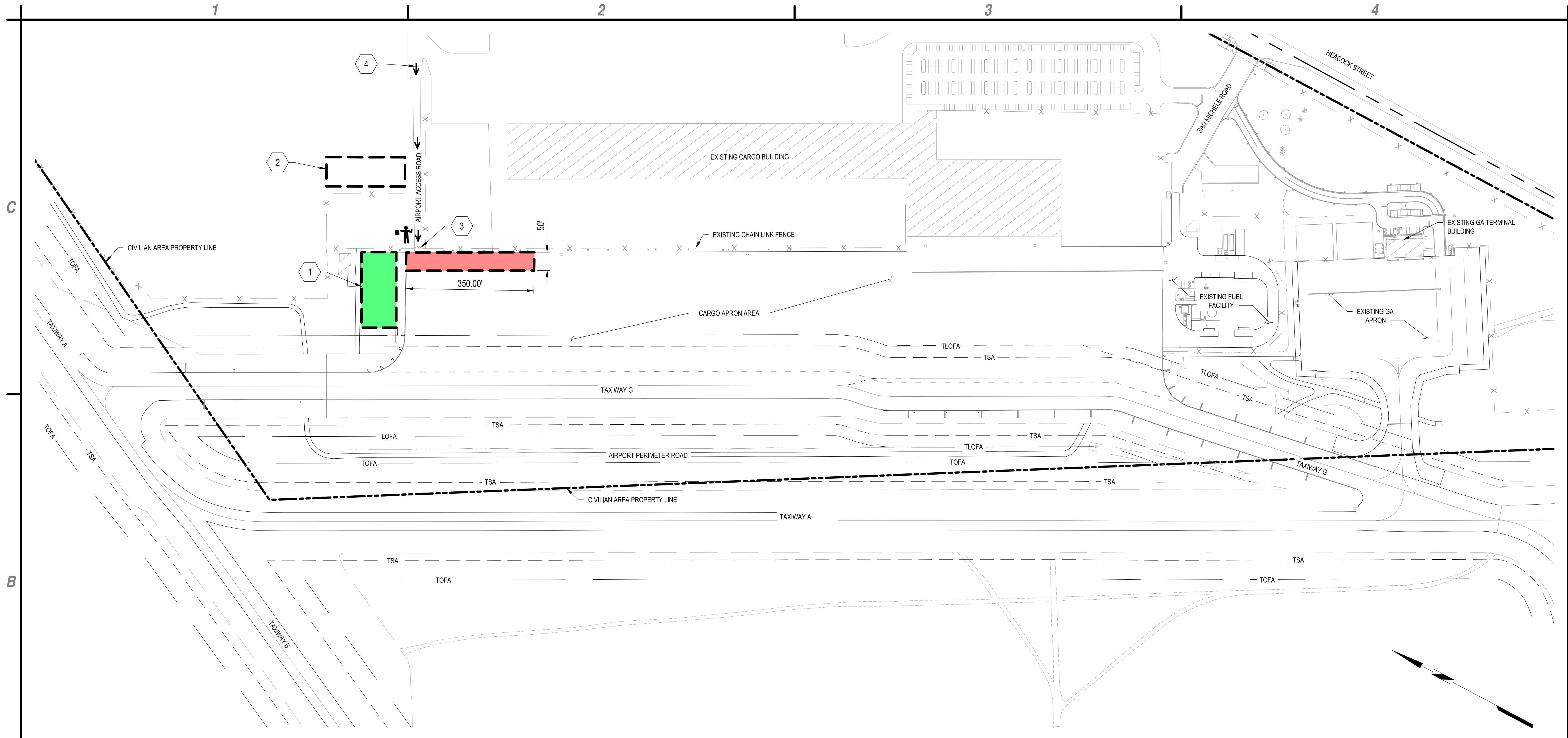
Fee

Total Fee to design the project will be a total sum not to exceed **\$43,000.00**.

Sincerely,

C&S Engineers, Inc.

Kenneth Gethers, PE
Managing Engineer

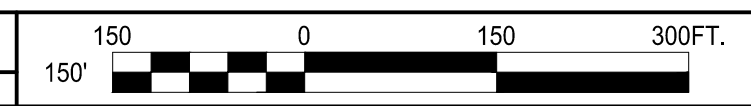


C&S Engineers, Inc.
 2020 Camino Del Rio North
 Suite 1000
 San Diego, California 92108
 Phone: 619-296-9373
 Fax: 619-296-5683
 www.cscos.com



**MARCH INLAND PORT
 MARCH JOINT POWERS AUTHORITY
 MORENO VALLEY, CALIFORNIA**


B1 SITE PLAN
 SCALE: 1" = 150'



KEY NOTES

1. CONTRACTOR'S STAGING AREA.
2. CONTRACTOR'S PARKING AREA.
3. OWNER CONTROLLED MANUAL AIRPORT ACCESS GATE, TO BE MANNED BY A CONTRACTOR PROVIDED FLAG PERSON DURING CONSTRUCTION.
4. CONTRACTOR'S ACCESS TO STAGING AND PROJECT AREA.

LEGEND

-  PROJECT AREA
-  STAGING AREA
-  HAUL ROUTE

A1 NOTES AND LEGEND
 SCALE: NOT TO SCALE

Feb. 25, 2024 - 9:25am P:\Project\178 - March Joint Powers Authority\17810001 - Taxiway G Reimbursement Design\CADD\Sheet Files\17810001_GC101.dwg

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO:		
DATE: FEBRUARY 2024		
DRAWN BY:		
DESIGNED BY:		
CHECKED BY:		

SITE PLAN

FIGURE 1

MARCH JOINT POWERS AUTHORITY



NOTICE OF EXEMPTION

<p>TO:</p> <p><input checked="" type="checkbox"/></p> <p>Office of Planning and Research P. O. Box 3044, Room 113 Sacramento, CA 95812-3044</p> <p>And</p> <p>County of Riverside County Clerk 2720 Gateway Drive Riverside, CA 92502-0751</p>	<p>FROM:</p> <p>(Public Agency) March Joint Powers Authority 14205 Meridian Parkway, Suite 140 Riverside, CA 92518</p> <p>Contact: Lauren Sotelo</p> <p>Phone: (951) 656-7000</p>
--	---

1.	Project Title:	AP-5 Crack Seal Rehabilitation Project
2.	Project Applicant:	March Inland Port Airport Authority 17405 Heacock Street Moreno Valley, CA 92551
3.	Project Location –	Cross Streets: Heacock Street and San Michele Road
4.	(a) Project Location – City: Riverside	(b) Project Location – County: Riverside
5.	Description of nature, purpose, and beneficiaries of Project:	<p>On December 13, 2023, the Commission of the March Inland Port Airport Authority (MIPAA) approved an updated 5-year Airport Capital Improvement Plan (ACIP) consistent with FAA funding criteria. The ACIP included phases of the FAA approved Pavement Management Plan (PMP) for MIPAA. The attached scope of work by MIPAA engineer, C&S Companies, is to assist in the design, bidding and awarding for the AP-5 Crack Seal Rehabilitation Project.</p> <p>The project scope generally consists of the joint and crack repair of the apron pavement identified in the Pavement Management Program as area “AP-5”. This area is in the northeastern corner of the existing cargo apron that is showing signs of pavement fatigue and cracking. The proposed project will address the cracking and routing and sealing of all the cracks, as well as completing isolated pavement repairs for spalled concrete patches. The project repair area is proposed at 50’ x 350’. This project is proposed to be completed in a single phase. No expansion of</p>

	pavement surface is proposed.
6. Name of Public Agency approving project:	March Joint Powers Authority 14205 Meridian Parkway, Suite 140 Riverside, CA 92518
7. Name of Person or Agency undertaking the project, including any person undertaking an activity that receives financial assistance from the Public Agency as part of the activity or the person receiving a lease, permit, license, certificate, or other entitlement of use from the Public Agency as part of the activity:	March Inland Port Airport Authority 17405 Heacock Street Moreno Valley, CA 92551
8. Exempt status: (check one)	
(a) <input type="checkbox"/> Ministerial project.	
(b) <input type="checkbox"/> Not a project.	
(c) <input type="checkbox"/> Emergency Project.	
(d) <input checked="" type="checkbox"/> Categorical Exemption. State type and section number:	15301 (d): Class 1 Existing Facilities
(e) <input type="checkbox"/> Declared Emergency.	
(f) <input type="checkbox"/> Statutory Exemption. State Code section number:	
(g) <input type="checkbox"/> Other. Explanation:	
9. Reason why project was exempt:	The project is categorically exempt from CEQA under the existing facilities exemption, CEQA Guidelines section 15301(d). The existing facilities exemption applies to the restoration or rehabilitation of damaged or deteriorated facilities so long as there is no expansion of use. The project proposes rehabilitation of the existing cargo apron and does not involve any expansion of its current operational use. None of the exceptions to the use of a categorical exemption identified in CEQA Guidelines section 15300.2 apply here. No significant cumulative impacts would result from the proposed project. Nor is there any reasonable possibility that the project will have a significant effect on the environment due to unusual circumstances, because no unusual circumstances are presented. The project is not located on a scenic highway and will not damage any scenic or historic resources. Finally, the project is not located on a hazardous waste site identified in the Cortese list.
10. Lead Agency Contact Person:	Lauren Sotelo
Telephone:	(951) 656-7000
11. If filed by applicant: Attach Preliminary Exemption Assessment (Form "B") before filing.	
12. Has a Notice of Exemption been filed by the public agency approving the project? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

13. Was a public meeting held by the Lead Agency to consider the exemption? Yes No

If yes, the date of the public meeting was: September 11, 2024

Signature: _____ Date: _____ Title: _____

Name:

Signed by Lead Agency Signed by Applicant

Date Received for Filing: _____

(Clerk Stamp Here)

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS AUTHORITY

MIPAA - Reports, Discussions and Action Items
Agenda Item No. 12 (2)

Meeting Date: September 11, 2024

Report/Action: **APPROVE THE MARCH INLAND PORT AIRPORT MASTER PLAN AND ASSOCIATED AIRPORT LAYOUT PLAN, AND DIRECT STAFF TO PROCEED WITH SUBMITTALS TO THE FEDERAL AVIATION ADMINISTRATION (FAA)**

Motion: Move to approve the March Inland Port Airport Master Plan and associated airport layout plan, and direct staff to proceed with submittals to the Federal Aviation Administration (FAA)

Applicant: March Inland Port Airport Authority (MIPAA)

Background:

On April 28, 2021, the Commission authorized the March Inland Port Airport Authority's (MIPAA) FAA submittal for an Airport Master Plan. The master plan project would allow MIPAA to establish a 20-year plan for the buildout of the airport. The plan would include an update to the current Airport Layout Plan and update the airport capital improvement program. Marc Champigny with C&S Engineering will present the master plan and provide a report on the status of planning activities and next steps on completing required FAA submittals. This item appeared before the Airport Land Use Study Committee on Wednesday, May 1st and then before the TAC on May 6, 2024. At that time the MJPA team was waiting for input from the March Air Reserve Base.

On June 24, 2024, staff received comments from the base on preferred new taxiway connections to the main Runway 14/32. Those changes have been incorporated into the new Master Plan which was presented to the Commission at their August 14th meeting for consideration. The Commission desired to have further discussions with the base in August to ensure that all comments pertaining to the master plan were addressed. Staff received confirmation in August that the base has no further comments.

Based on the aforementioned, staff recommends the Commission approve the March Inland Port Airport Master Plan and associated Airport Layout Plan and direct staff to proceed with submittals to the FAA.

Attachment: Airport Master Plan Presentation

March Joint Powers Commission

Airport Master Plan
March Inland Port Airport
September 11, 2024



Joint Use Airport – RIV Designation

- March is a Joint Use Airport
- FAA recognizes Joint Use Airports as an asset
- RIV is a designated “Reliever Airport” within the FAA National Plan of Integrated Airport Systems (NPIAS)
- 21,000 operations recognized by the FAA for RIV under the JUA with Air Force
- Airport Master Plan relevance for airports?



Public Outreach Meetings

Six (6) Total

- **Two community meetings at March**
 - **11/7/2023 – 13 Attendees**
 - **Community residents; March ARB staff; MJPA staff; and Consultants.**
 - **1/31/2024 – 6 Attendees**
 - **Community residents; March ARB staff; MJPA staff; and Consultants.**



Public Outreach Meetings (cont'd)

- **Four (4) Project Advisory Committee (PAC) Meetings**
 - 3/9/2022 – 19 Attendees
 - 2/2/2023 – 20 Attendees
 - 7/26/2023 – 20 Attendees
 - 1/31/2024 – 20 Attendees
- **Draft Master Plan public review comment period**
 - 1/31/2024 to 2/29/2024



MARB Outreach

- **MARB representation in four (4) PAC Meetings**
- **Briefings held with MARB Staff/Leadership**
 - 7/7/2023
 - 1/17/2024
- **MARB provided comments on proposed development**
 - 1/31/2024 – First round of comments
 - 3/11/2024 – Second round of comments



TAC / Airport Committee / MJPA Commission

March JPA Commission

- May 8, 2024
- August 14, 2024

Airport Land Use Committee

- May 1, 2024
- August 7, 2024

Technical Advisory Committee

- May 6, 2024
- August 5, 2024



Approved FAA Forecast

Table 4.14 – March Inland Port Airport Demand Forecast Summary

Forecast Year	Total Operations	FAA TAF Forecast
Existing	5,126	0
5-Year	8,746	0
10-Year	11,966	0
15-Year	14,458	0
20-Year	17,485	0

Source: FAA TAF March 2022; C&S Engineers, Inc.



U.S. Department of Transportation
Federal Aviation Administration

Western-Pacific Region
Airports Division
Los Angeles Airports District Office

777 S. Aviation Blvd., Suite 150
El Segundo, CA 90245

February 6, 2023

Mr. Gary W. Gosliga
Airport Director
March Inland Port Airport Authority
14205 Meridian Parkway, Suite 140
Riverside, CA 92518

**March ARB Airport (RIV)
Aviation Activity Forecast**

Dear Mr. Gosliga,

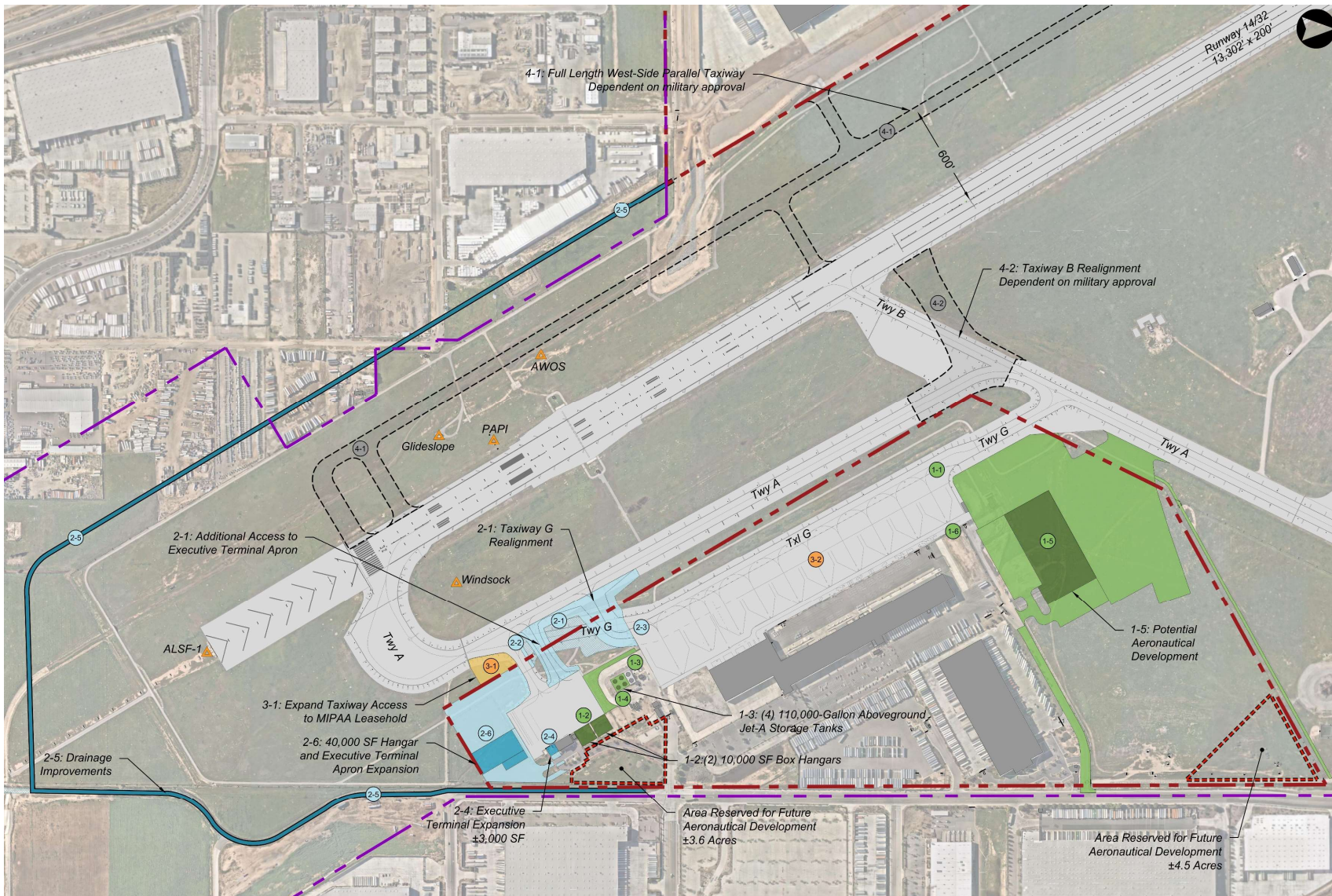
The Federal Aviation Administration (FAA) has completed the review of the Aviation Activity Forecast – Section 4, Forecasts of Demand for March ARB Airport dated November 2022. The RIV Preferred Operations Forecast, Industry Growth/Cargo High Growth/New Airline Entrant projected activity growth at eight percent, and follows with the 10 to 20 years of the planning period of four percent and fall within the standard TAF tolerance of 10 percent and 15 percent within the 5 and 10-year planning periods.

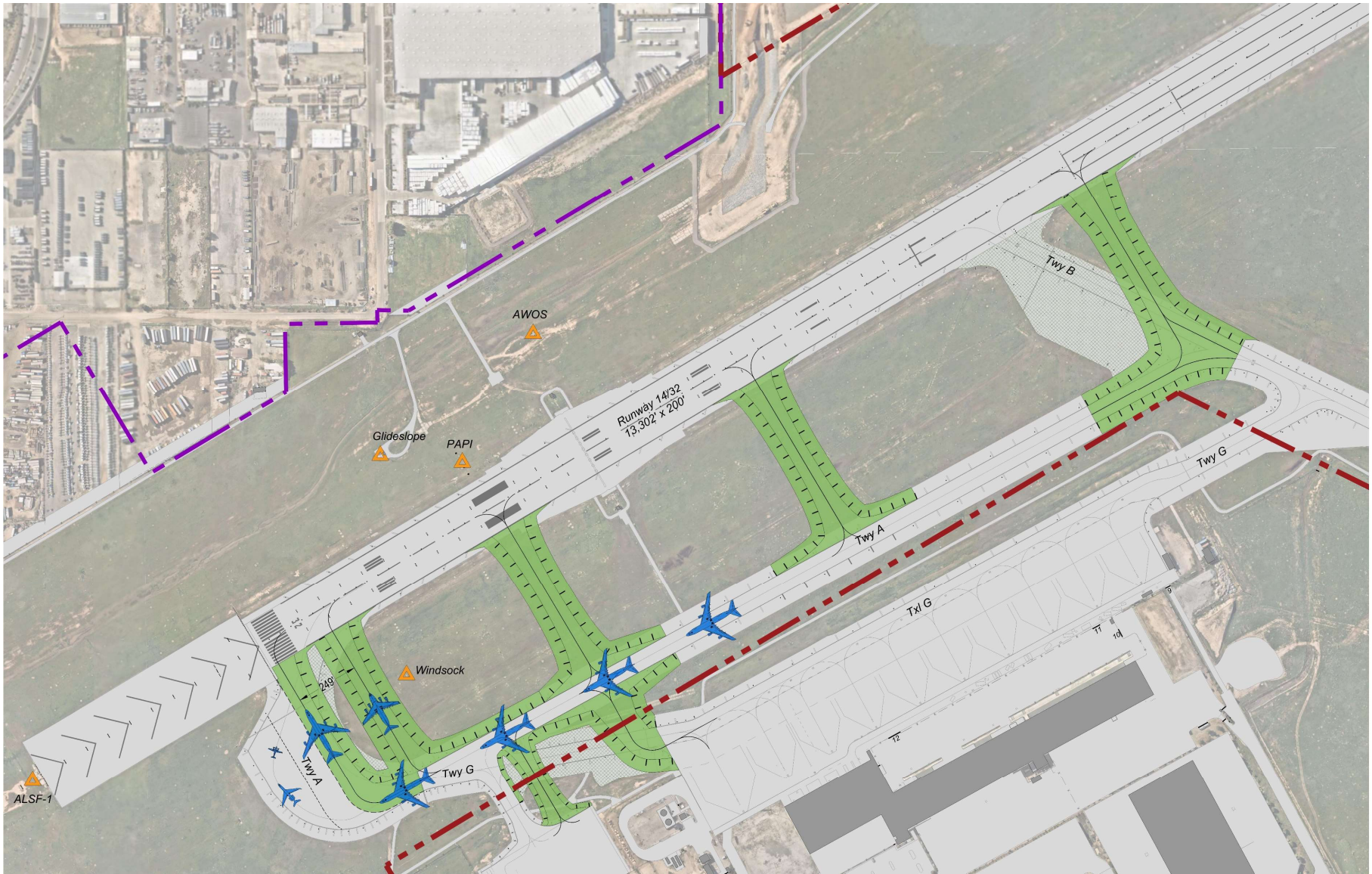
However, the TAF has not been updated to reflect the current estimated base line operations at the airport and standard TAF procedures is to flat line forecasts at some general aviation airports. Your preferred forecast as submitted is approved for airport planning purposes including Airport Layout Plan (ALP) development.

This forecast was prepared at the same time as the evolving impacts of the COVID-19 public health emergency. Forecast approval is based on the methodology, data, and conclusions at the time the document was prepared. However, consideration of the impacts of the COVID-19 public health emergency on aviation activity is warranted to acknowledge the reduced confidence in growth projections using currently-available data.

Accordingly, FAA approval of this forecast does not constitute justification for future projects. Justification for future projects will be made based on activity levels at the time the project is requested for development. Documentation of actual activity levels meeting planning activity levels will be necessary to justify AIP funding for eligible projects.





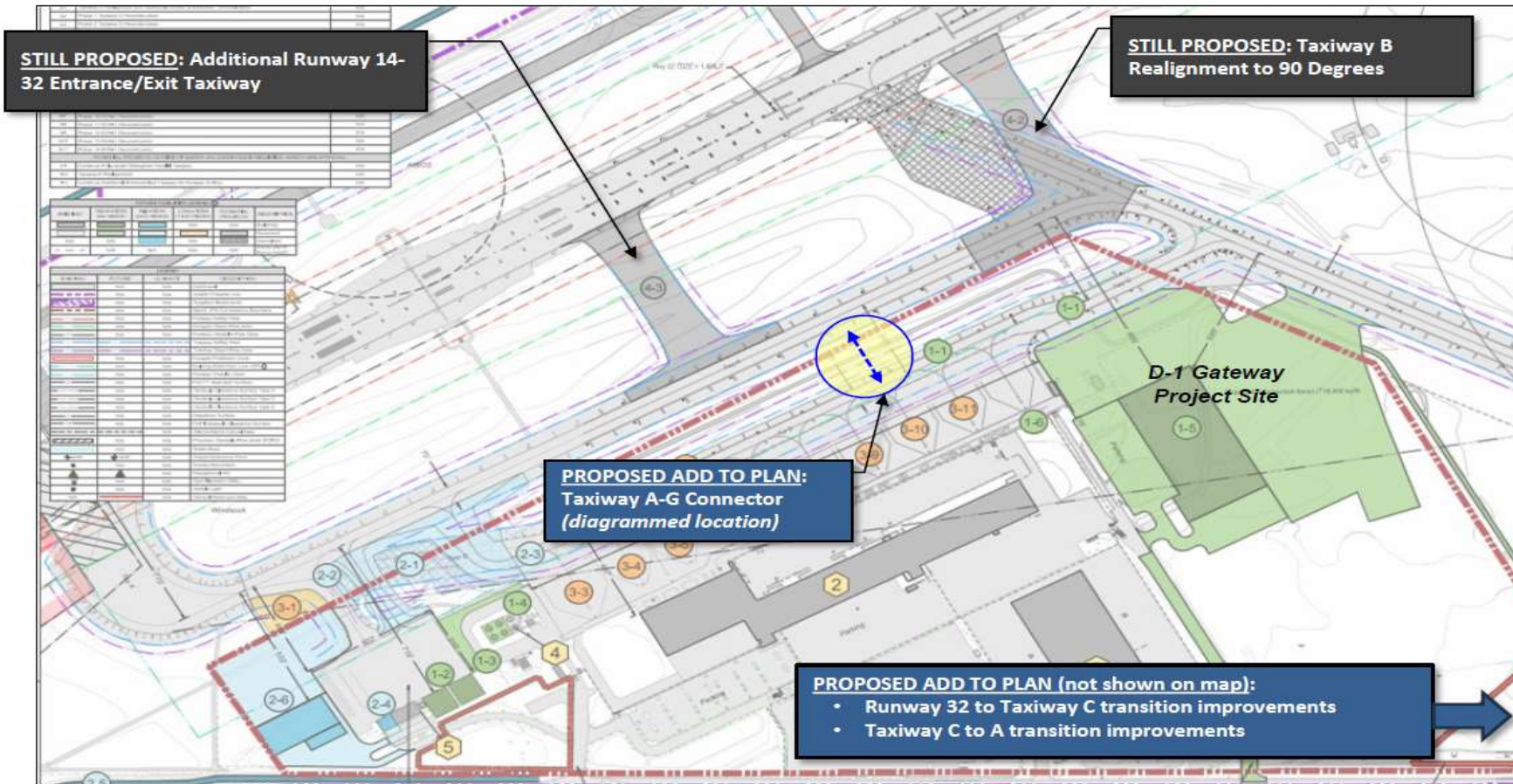




U.S. AIR FORCE

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MARB – Preferred ALP Updates



UNCLASSIFIED

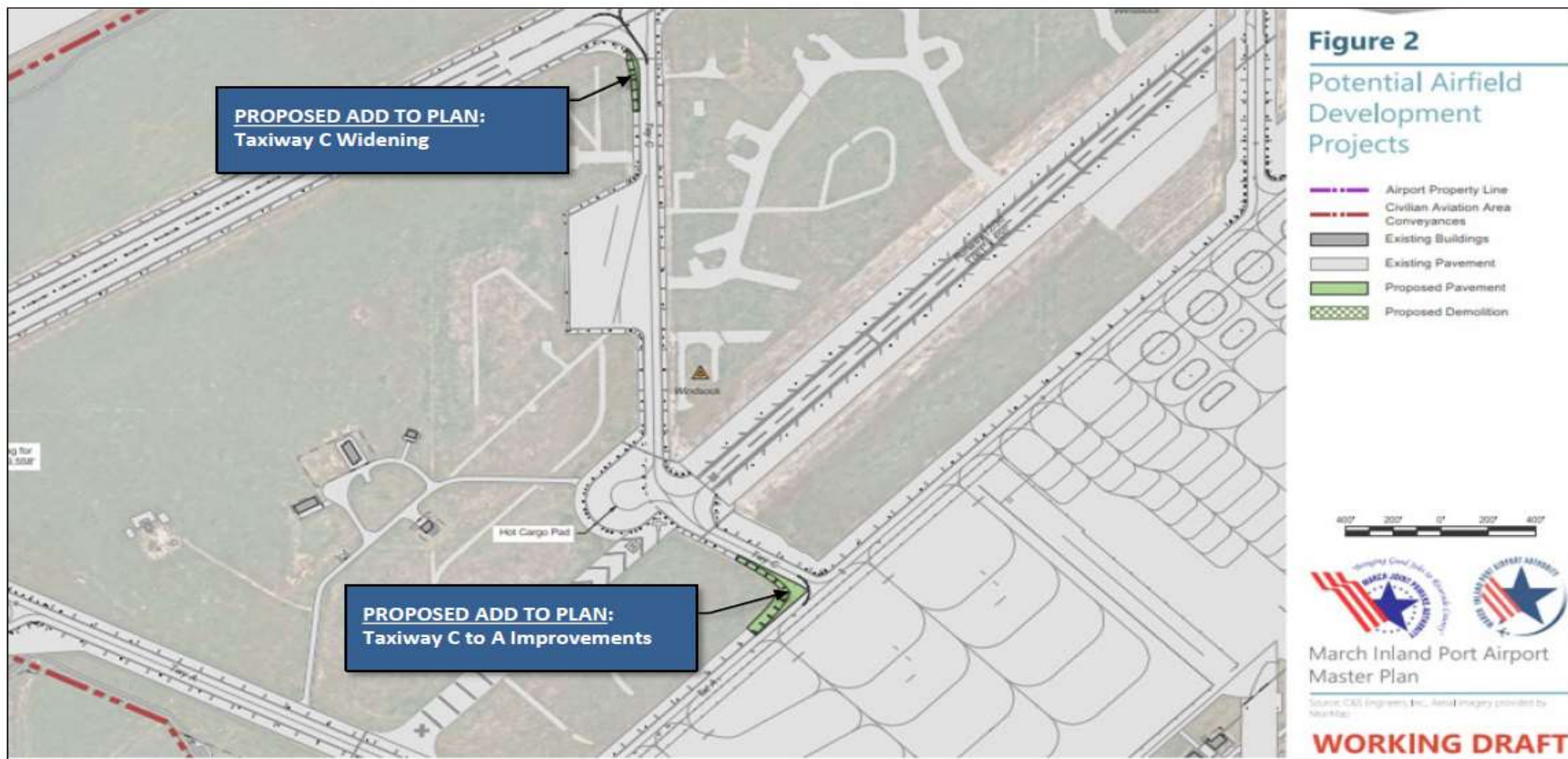




U.S. AIR FORCE

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MARB – Preferred ALP Updates



UNCLASSIFIED





UNCLASSIFIED

MARB Preferred ALP Phasing

COA Title	Comment	Phasing
Runway 32 to Taxiway B Realignment	90-degree alteration is preferred COA and remains in the latest JPA / MIPAA preferred plan. No action / changes recommended.	Near Term: 0-5 YEARS
New Runway 32 Connector to Taxiway A	No comment. March ARB is tracking this proposed project as already depicted in the updated KRIV Airport Layout Plan (ALP) drawing.	Near Term: 0-5 YEARS
Runway 32 to Taxiway C and Taxiway C to A Improvements	March ARB requests these proposed projects be added to the updated KRIV ALP. Refer to previous proposed ALP drawing depicted in slide 3 for reference.	Near Term: 0-5 YEARS
Taxiway A to G Connector	March ARB requests this proposed project be added to the updated KRIV ALP. Proposed taxiway width should match the dimensions of the already proposed Runway 32 to Taxiway A project in the latest KRIV ALP drawing.	Near Term: 0-5 YEARS

BAILEY.BRYAN.M
ARK.1153210299

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299
Date: 2024.06.24 12:35:50 -0700

Concur

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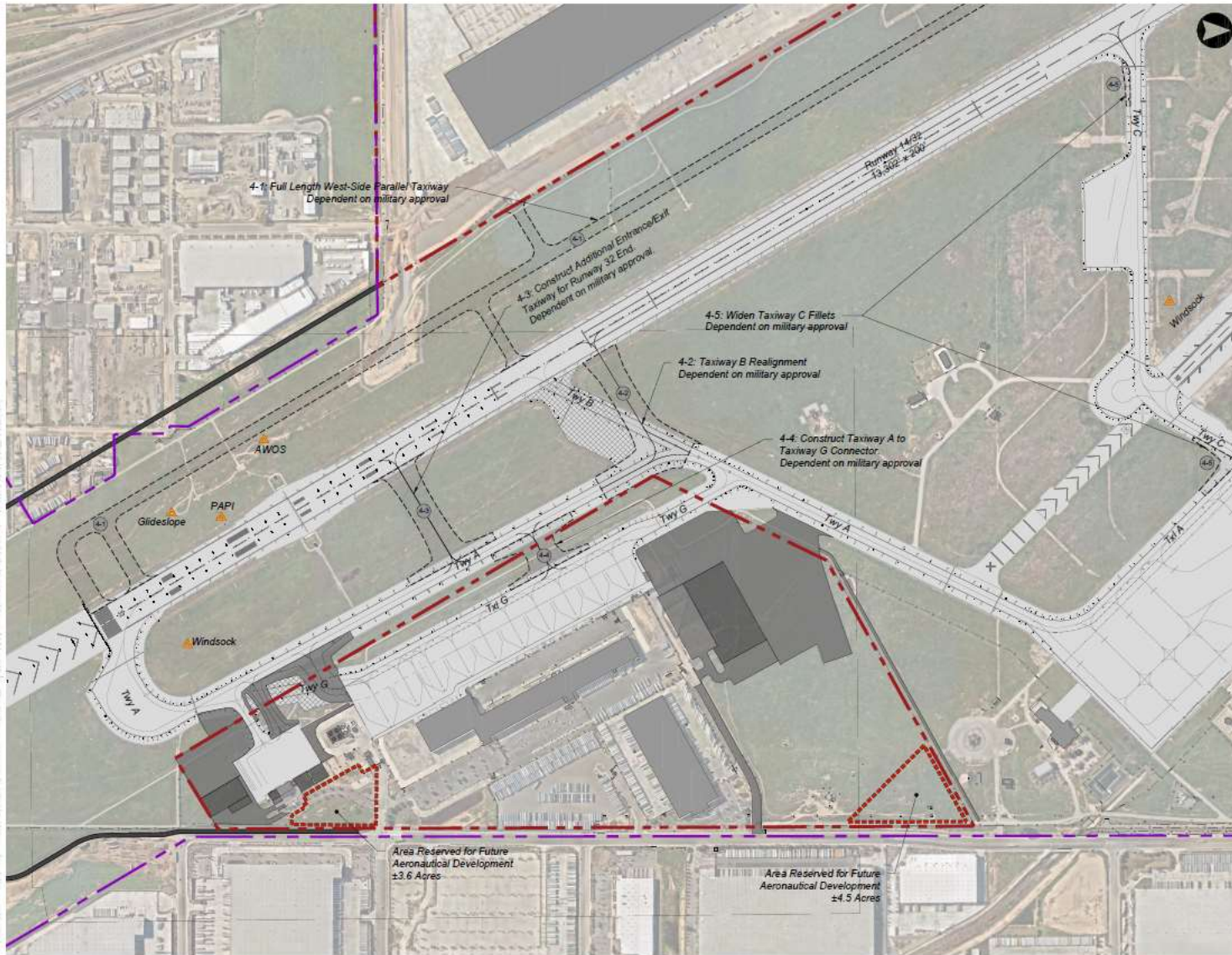


Figure 8.6
Phase 4
Development
Projects

- Airport Property Line
- Civilian Aviation Area Conveyances
- Existing Buildings
- Existing Pavement
- Existing NAVAID
- Pavement Constructed in Previous Phase
- Buildings Constructed in Previous Phase
- Proposed Pavement - Phase 4



March Inland Port Airport
Master Plan

Source: C&S Engineers, Inc., Aerial Imagery provided by NearMap

WORKING DRAFT



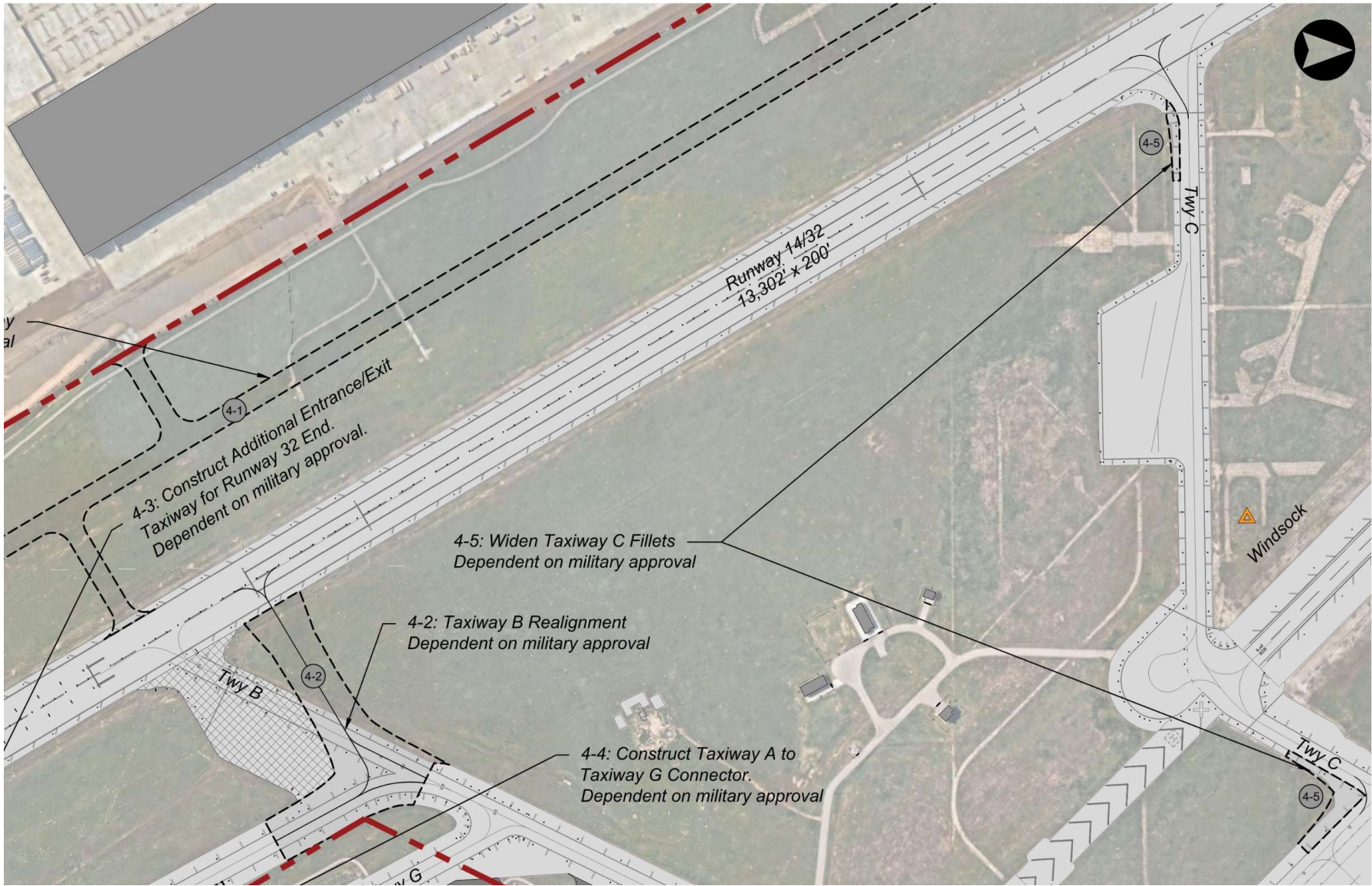


Table 8.5 – Total Development Cost by Period

Period	Federal Share (90%)	Local Share (10%)	Period Total
Period 1 (0 – 5 Years)	\$6,665,000	\$33,326,000	\$39,991,000
Period 2 (6 – 10 Years)	\$25,796,000	\$37,976,000	\$63,772,000
Period 3 (11 – 20 Years)	\$30,676,000	\$3,408,000	\$34,083,000
Periods 1 – 3 Total	\$63,137,000	\$74,710,000	\$137,846,000
Period 4 (20+ Years)	\$180,814,000	\$20,090,000	\$200,904,000
Grand Total	\$243,951,000	\$94,800,000	\$339,750,000

Source: C&S Engineers, Inc. 2023

Notes: Total costs include Projects 2-1, 2-2, and 2-3, total costs will be lower depending on need for Projects 2-2 and 2-3. Cost estimates include 20% contingency, 2% inflation increase/year, and 25% increase for design, construction admin/ management. Costs are rounded to nearest thousand.

JS1



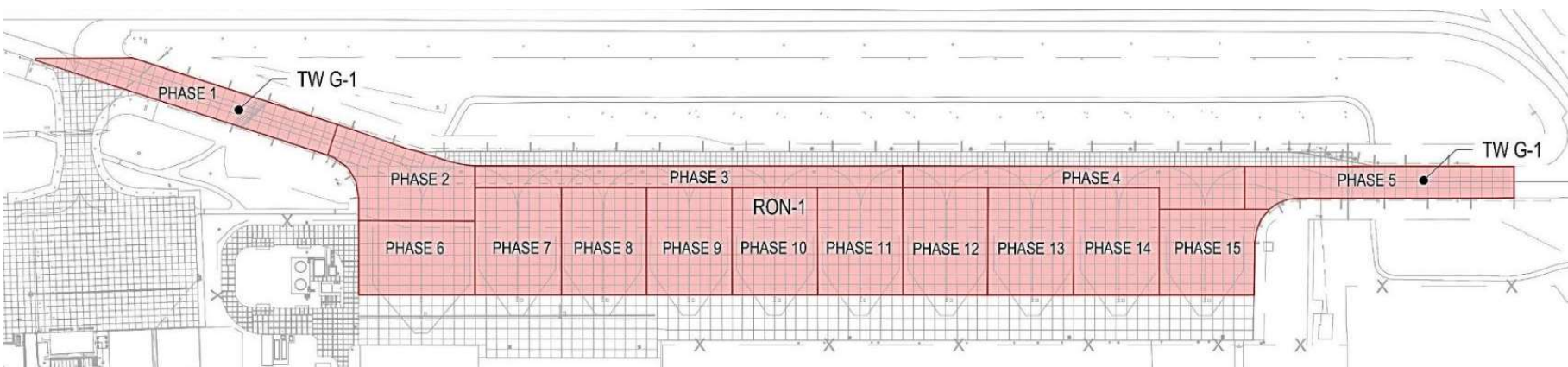
Slide 17

JS0 Change from "Phase" to "Period"
Jake Shurer, 2024-07-31T19:43:17.517

JS1 Color code table to match colors in development drawings
Jake Shurer, 2024-07-31T20:15:45.170



LEGEND							
CONDITION	FAILED	SERIOUS	VERY POOR	POOR	FAIR	SATISFACTORY	GOOD
PCI RANGE	0-10	11-25	26-40	41-55	56-70	71-85	86-100
COLOR CODE	Grey	Dark Red	Red	Pink	Yellow	Light Green	Dark Green



Next Steps

- Submit ALP set to FAA for approval
- Environmental Review – CEQA and NEPA



MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS UTILITIES AUTHORITY

MJPUA Operations - Consent Calendar
Agenda Item No. 13 (1)

Meeting Date: September 11, 2024

Report: **RECEIVE AND FILE FINANCIAL STATUS REPORTS**

Motion: Move to receive and file the Financial Status Reports

Background:

The monthly Financial Status Reports is a summary of operational income and expenses for the months of June and July 2024 and for the fiscal year to date. It provides a summary of the March Joint Powers Utilities Authority's (MJPUA) ongoing activities related to the approved FY 2023/24 budget.

Attachment(s): Financial Status Reports for June and July 2024.

ASSETS

Cash In Bank	\$	196,619.92
Accounts Receivable		<u>42,683.72</u>
Total Assets	\$	<u><u>239,303.64</u></u>

LIABILITIES

Accounts Payable		25,498.50
JPA Loan Payable		<u>450,000.00</u>
Total Liabilities		<u>475,498.50</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year		(308,018.27)
Change in Fund Balance for the twelve months ending June 30, 2024		<u>71,823.41</u>
Ending Fund Balance, June 30, 2024		<u>(236,194.86)</u>
Total Liabilities and Net Position	\$	<u><u>239,303.64</u></u>

General Ledger
Expenses vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

User: SchumacherN
Printed: 8/23/2024 12:01:45 PM
Period 12 - 12
Fiscal Year 2024

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% Avail</u>
600	March J.P. Utility Authority					
600-10-50200-02	General Legal Services	4,500.00	0.00	0.00	4,500.00	100.00
600-10-50200-14	Annual Audit	7,000.00	3,500.00	3,500.00	3,500.00	50.00
600-20-51350-00	Gas Commodity Expense	450,000.00	13,240.66	207,796.63	242,203.37	53.82
600-20-51360-00	Gas Operation and Maintenanc	5,000.00	3,458.25	4,224.00	776.00	15.52
Expense Total		466,500.00	20,198.91	215,520.63	250,979.37	53.8005
Grand Total		466,500.00	20,198.91	215,520.63	250,979.37	0.538

General Ledger
Revenue vs Budget

User: SchumacherN
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Period 12 - 12
Fiscal Year 2024



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
600	March J.P. Utility Authority					
600-00-40620-00	GAS UTILITY	-450,000.00	-74,918.84	-239,431.47	-210,568.53	53.21
600-00-40625-00	GAS O & M	-45,000.00	-14,992.50	-47,912.57	2,912.57	106.47
	Revenue Total	495,000.00	89,911.34	287,344.04	207,655.96	58.0493
	Grand Total	495,000.00	89,911.34	287,344.04	207,655.96	0.5805

ASSETS

Cash In Bank	\$ 202,620.02
Accounts Receivable	<u>36,642.12</u>
Total Assets	<u>\$ 239,262.14</u>

LIABILITIES

Accounts Payable	25,457.00
JPA Loan Payable	<u>450,000.00</u>
Total Liabilities	<u>475,457.00</u>

FUND BALANCE

Net Position, Beginning of Fiscal Year	(236,194.86)
Change in Fund Balance for the month ending July 31, 2024	<u>-</u>
Ending Fund Balance, July 31, 2024	<u>(236,194.86)</u>
Total Liabilities and Net Position	<u>\$ 239,262.14</u>

General Ledger
Expenses vs Budget



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

User: SchumacherN
Printed: 8/23/2024 12:22:29 PM
Period 01 - 01
Fiscal Year 2025

Account Number	Description	Budget	Per Range Amt	End Bal	Variance	% Avail
600	March J.P. Utility Authority					
600-10-50200-14	Annual Audit	7,000.00	0.00	0.00	7,000.00	100.00
600-20-51350-00	Gas Commodity Expense	300,000.00	0.00	0.00	300,000.00	100.00
600-20-51360-00	Gas Operation and Maintenanc	5,000.00	0.00	0.00	5,000.00	100.00
	Expense Total	312,000.00	0.00	0.00	312,000.00	100
	Grand Total	<u>312,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>312,000.00</u>	<u>1</u>

General Ledger
Revenue vs Budget

User: SchumacherN
Printed: 8/23/2024 12:27:45 PM
Period 01 - 01
Fiscal Year 2025



March Joint Powers Authority
14205 Meridian Pkwy, Ste. 140
Riverside, CA 92518
(951) 656-7000
www.marchjpa.com

<u>Account Number</u>	<u>Description</u>	<u>Budget</u>	<u>Per Range Amt</u>	<u>End Bal</u>	<u>Variance</u>	<u>% ExpendCollect</u>
600	March J.P. Utility Authority					
600-00-40620-00	GAS UTILITY	-300,000.00	0.00	0.00	-300,000.00	0.00
600-00-40625-00	GAS O & M	-60,000.00	0.00	0.00	-60,000.00	0.00
	Revenue Total	360,000.00	0.00	0.00	360,000.00	0
	Grand Total	<u>360,000.00</u>	<u>0.00</u>	<u>0.00</u>	<u>360,000.00</u>	<u>0</u>
		<hr/>	<hr/>	<hr/>	<hr/>	<hr/>

MARCH JOINT POWERS COMMISSION
OF THE
MARCH JOINT POWERS UTILITIES AUTHORITY

MJPUA Operations - Consent Calendar
Agenda Item No. 13 (2)

Meeting Date: September 11, 2024

Action: **APPROVE JUNE AND JULY 2024 DISBURSEMENTS**

Motion: Move to approve check disbursements for the months of June and July 2024 or take other actions as deemed appropriate by the Commission.

Background:

This item is also an action approving the expenses (checks) that were incurred in the months of June and July 2024 for the MJPUA. A listing of those checks is attached and will be reported in the minutes as an action item.

Attachment(s): 1) Listing of checks disbursed in June and July 2024 for the March Joint Powers Utilities Authority.

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
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March J.P. Utility Authority - Fund 600

Check No	Vendor No	Vendor Name	Check Date	Check Amount
6001057	SoCalGas	SoCalGas	06/05/2024	13,240.66
6001058	UNDER2	Underground Service Alert /SC	06/05/2024	116.75
6001059	MDRUtili	MDR Utility Locating Specialist, Inc.	06/05/2024	3,300.00
6001060	FARR	Davis Farr	06/25/2024	<u>3,500.00</u>
Report Total (4 Checks):				<u>\$ 20,157.41</u>

Accounts Payable

Checks by Date - Summary by Check Number

User: finance@marchjpa.com
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March J.P. Utility Authority - Fund 600

Check No	Vendor No	Vendor Name	Check Date	Check Amount
6001061	UNDER2	Underground Service Alert /SC	07/11/2024	<u>41.50</u>
		Report Total (1 Check):		<u>\$ 41.50</u>